

Flat 2 Court Royal Mansions, 1 Eastern Terrace, Brighton.

**DESIGN & ACCESS STATEMENT**  
**FOR**  
**FLAT 2, COURT ROYAL MANSIONS**  
**1 EASTERN TERRACE**  
**BRIGHTON, BN2 1DJ**



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	<b><u>CONTENTS</u></b>	<b><u>PAGES</u></b>
1.0	INTRODUCTION	3 - 5
2.0	DESIGN	6
2.1	LOCATION AND BACKGROUND; SITE AND SURROUNDINGS	6
2.2	INVOLVEMENT	6
2.3	EVALUATION	7
3.0	LAYOUT	7
4.0	SCALE	7
5.0	LANDSCAPING	7
6.0	APPEARANCE	7
7.0	ACCESS	7
8.0	CONCLUSION	8

## 1.0 INTRODUCTION

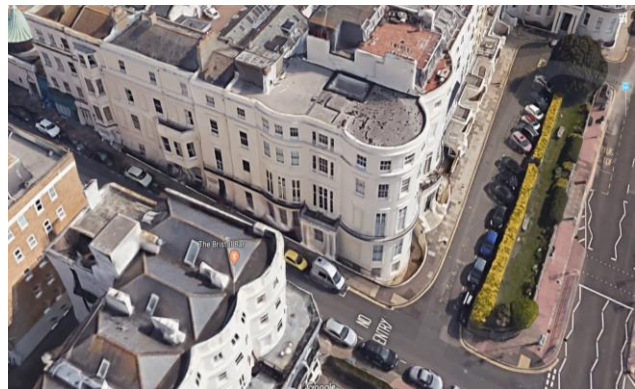
This Design and Access Statement is prepared in line with Government Guidance on Changes to the Development Control System (DCLG Circular 01/2006) which requires such statements to be provided with listed building consent planning applications.

The building is a substantial end of terrace house in Eaton Terrace on Brighton seafront, on the corner with Paston Place. It dates from circa 1827-8 and is a Grade II Listed Building and located in the East Cliff Conservation Area.

Flat 2 is the ground floor flat in the front half of the building which has a barrel shaped frontage and a private street entrance which was the original entrance to the building prior to conversion into flats. One of the main original features of the flat is the front barrel shaped room approximately 10m in diameter which would have been one of the main reception rooms adjacent to the original main entrance. As part of previous conversions and alterations, this reception room has been sub divided into three rooms using heavy blockwork to form additional bedrooms, destroying the original character and grandeur of the property.

It is proposed to remove the internal walls which had been added within the reception room to reinstate the original layout of the room and in conjunction with this, the ceilings and other original features will be restored to their original appearance.

In conjunction with these works, there are planned alterations to the bathroom to provide a larger bathroom, however this involves a rearrangement of walls which had been added as part of the conversion into a flat.



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1.



2.



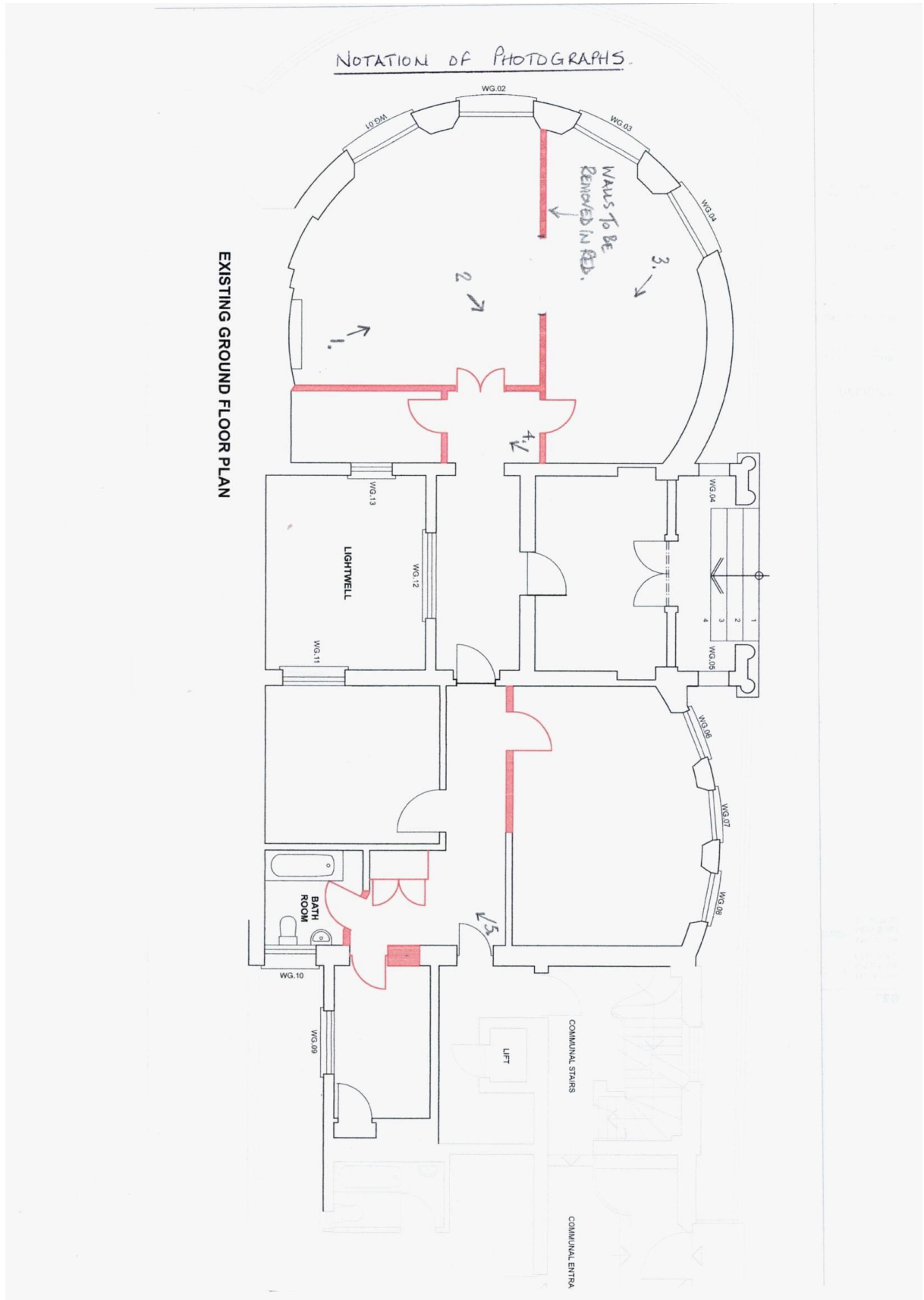
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4.



5.



## **2.0 DESIGN**

### **2.1 LOCATION AND BACKGROUND; SITE AND SURROUNDINGS**

Court Royal mansions is part of Eastern Terrace: This imposing terrace has nine large; four-storey, listed houses built circa 1827-8, some of the finest in the town. Nos.1-2 and 9 have wide bow fronts, while no.8 has a concave facade. Most have Doric porches, and nos.5-7 have first floors faced in yellow brick.

No.1 was occupied from 1836 until 1858 by the first Lord Sudeley, and then by Sir Albert Sassoon in 1876-96;

The house became the Court Royal Hotel in 1914, and was converted into Court Royal Mansions in the early 1950s

The property was Grade II listed on 13/10/52 and is located within The East Cliff Conservation Area.

### **2.2 INVOLVEMENT**

The proposals are as follows:

1. To remove the partition walls within the front circular reception room which were added as part of the conversion.
2. To alter the arrangement of internal walls forming the bathroom to form a larger bathroom.
3. To move the doorway into the master bedroom
4. To lay a natural stone flooring to the entrance hallway to restore it to its original grandness, finishes and character

### **2.3 EVALUATION**

The original grandure of the ground floor was ruined by closing off the original portico entrance and entrance lobby and by subdividing the original circular ground floor reception room with block walls to form small bedrooms. Listed building consent has previously been approved for the reinstatement of the original entrance and restoration of the original steps .

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This application takes the proposed restoration of the ground floor further by reinstating entrance lobby as per the original layout and design and to reinstate the original ground floor reception room to its original grandeur and creating a high class two bedroom residence.

All of the walls which are to be removed or altered are heavy concrete block walls which were added as part of the conversion in the 1950's. These do not have any heritage value.

### **3.0 LAYOUT**

The original layout was ruined by the conversion into a flat removing the original entrance, entrance lobby and reception room. All of this will be recreated and restored as part of these proposals.

### **4.0 SCALE**

The flat currently has three bedrooms which is considered to be over developed. The new arrangement of bedrooms and the recreation of the reception will create what is considered to a better apportionment of bedroom and living space.

### **5.0 LANDSCAPING**

N/A

### **6.0 APPEARANCE**

N/A.

### **7.0 ACCESS**

N/A

### **8.0 CONCLUSION**

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The proposals have been carefully assessed and are as sympathetic as possible to preserving the historic appearance and fabric of the Grade II Listed Building. The character and heritage value of the property will be greatly enhanced by these works.

We trust that officers and members of the Local Planning Authority will concur with our assessment and favourably determine the subject application.