



LOCATION PLAN
SCALE 1:1250



PROPOSED LOFT
CONVERSION.

BLOCK PLAN
SCALE 1:500

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SOLID WALL
	WALL TO BE REMOVED
	WALL TO BE CONSTRUCTED
	BRICKWORK WALL
	BLOCKWORK WALL
	NON LOAD-BEARING WALLS
	TIMBER STUD LOAD-BEARING WALLS
	INDICATES EXISTING CEILING BEAMS
	PROPOSED STEEL BEAM (1)
	PROPOSED LINTEL (1)
	PROPOSED STEEL COLUMN (1)
	PROPOSED TIMBER MEMBER (T1)
	REFERS TO CONCRETE PADSTONE (1)
	"FFL" FINISHED FLOOR TO CEILING HEIGHT "SFL" STRUCTURAL FLOOR TO CEILING HEIGHT
	LOFT HATCH
	DIRECTION OF TIMBER FLOOR JOISTS (1)
	DIRECTION OF TIMBER ROOF RAFTERS (1)
	DIRECTION OF CONCRETE SLAB (1)
	DIRECTION OF STAIRS GOING UP
	INDICATES PERIMETER OF NEW FOUNDATIONS
	REFERS TO SECTION "A" FROM SHEET 01
	REFERS TO DETAIL "YY"

General Notes

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Drawing Notes

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Rev.	Date	Details of Revision
P01	30/04/24	DRAWINGS APPROVED FOR PLANNING.
D04	26/04/24	FINAL (2) DRAWINGS APPROVAL FOR PLANNING SUBMISSION.
D03	25/04/24	FINAL DRAWINGS APPROVAL FOR PLANNING SUBMISSION.
D02	19/04/24	CHANGES TO THE ROOF PITCH AND LOFT ARRANGEMENT.
D01	12/04/24	FIRST ISSUE - FOR APPROVAL

Client
MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
BLOCK & LOCATION PLANS

KOLEKA
ENGINEERING CONSULTANTS

Address: 218 Summers Lane,
North Finchley,
London N12 0JY

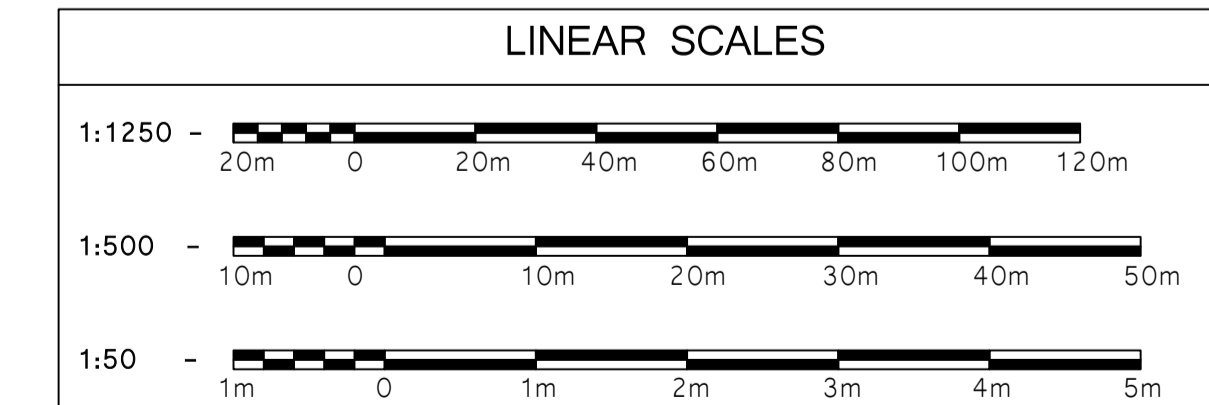
Contact Number: 0772 2092043
Email: info@kolekaengineering.co.uk
Website: www.kolekaengineering.co.uk

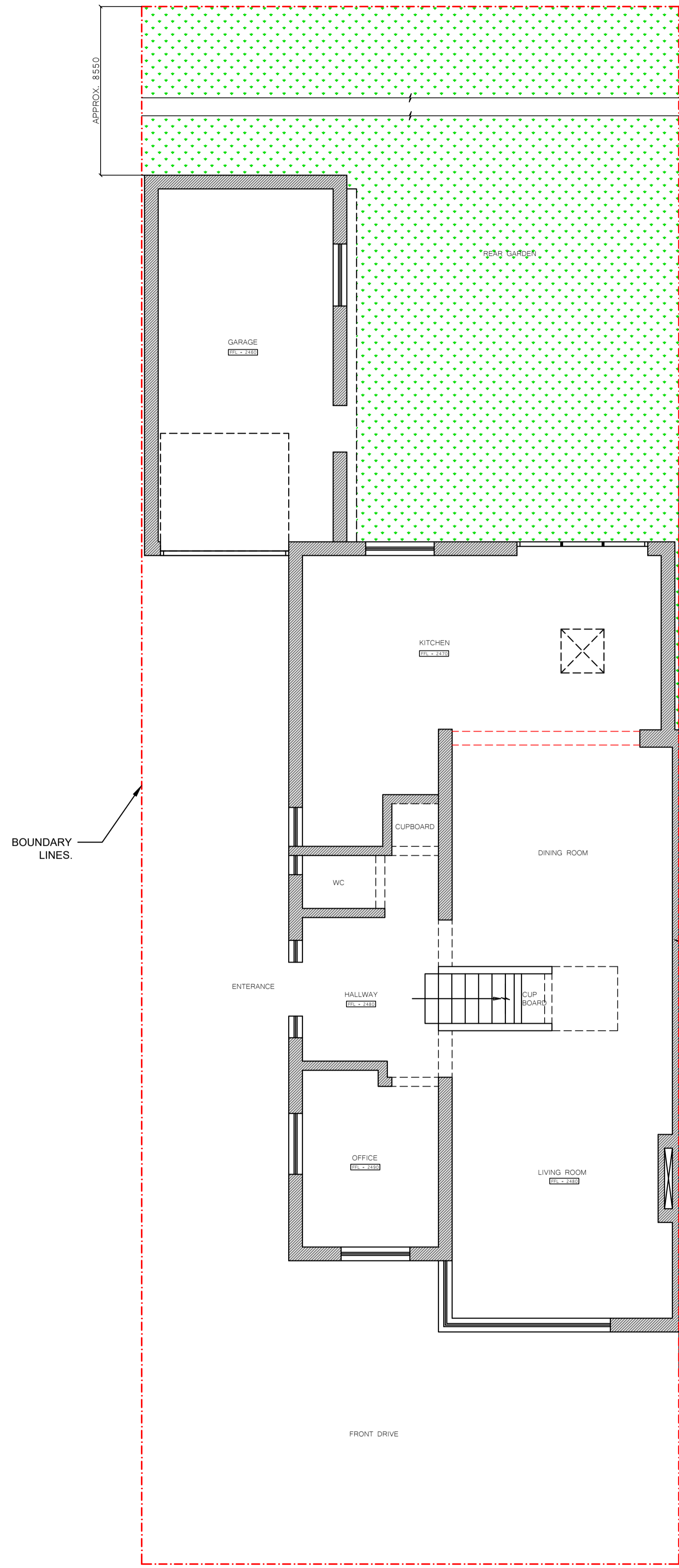
PLANNING

Designed By	Date	Checked By	Date
RK	12/04/24	RK	12/04/24

File No.	Scale
390-01	AS INDICATED

Drawing No.	Sheet No.	Rev No.
390-01-FOZ-RES-APP-01	1 of 10	P01





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General Notes

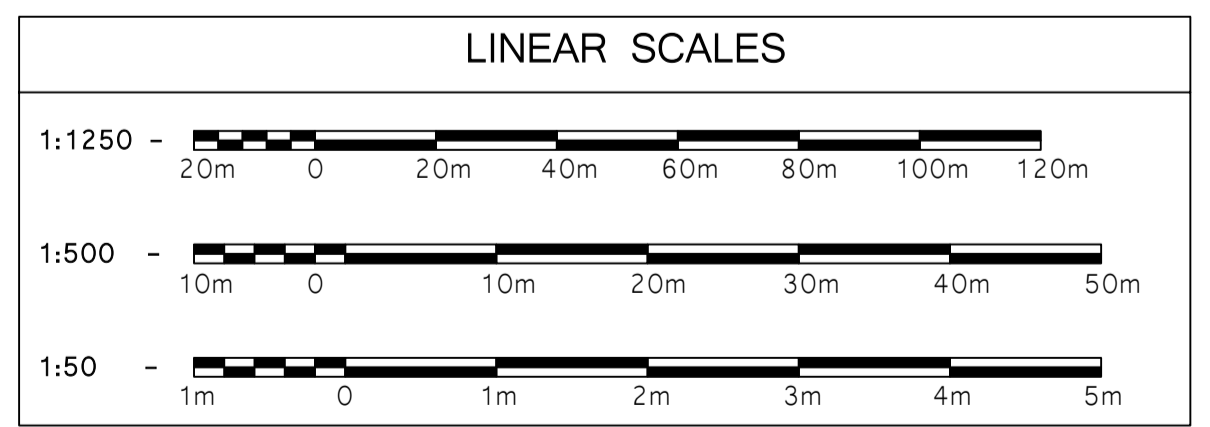
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NO CHANGES WILL BE MADE ON THE GROUND FLOOR LEVEL. HENCE THE GROUND FLOOR GA WILL REMAIN THE SAME.



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Client
MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING (AND PROPOSED) GROUND
FLOOR GENERAL ARRANGEMENT

KOLEKA
ENGINEERING CONSULTANTS

Address: 218 Summers Lane, North Finchley, London N12 0JY
Contact Number: 07722092043
Email: info@kolekaengineering.co.uk
Website: www.kolekaengineering.co.uk

Status
PLANNING

Designed By	Date	Checked By	Date
RK	12/04/24	RK	12/04/24

File No.	Scale
390-01	AS INDICATED

Drawing No.	Sheet No.	Rev No.
390-01-FOZ-RES-APP-01	2 of 10	P01

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Client
MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING AND PROPOSED FIRST FLOOR
GENERAL ARRANGEMENT

KOLEKA

ENGINEERING CONSULTANTS

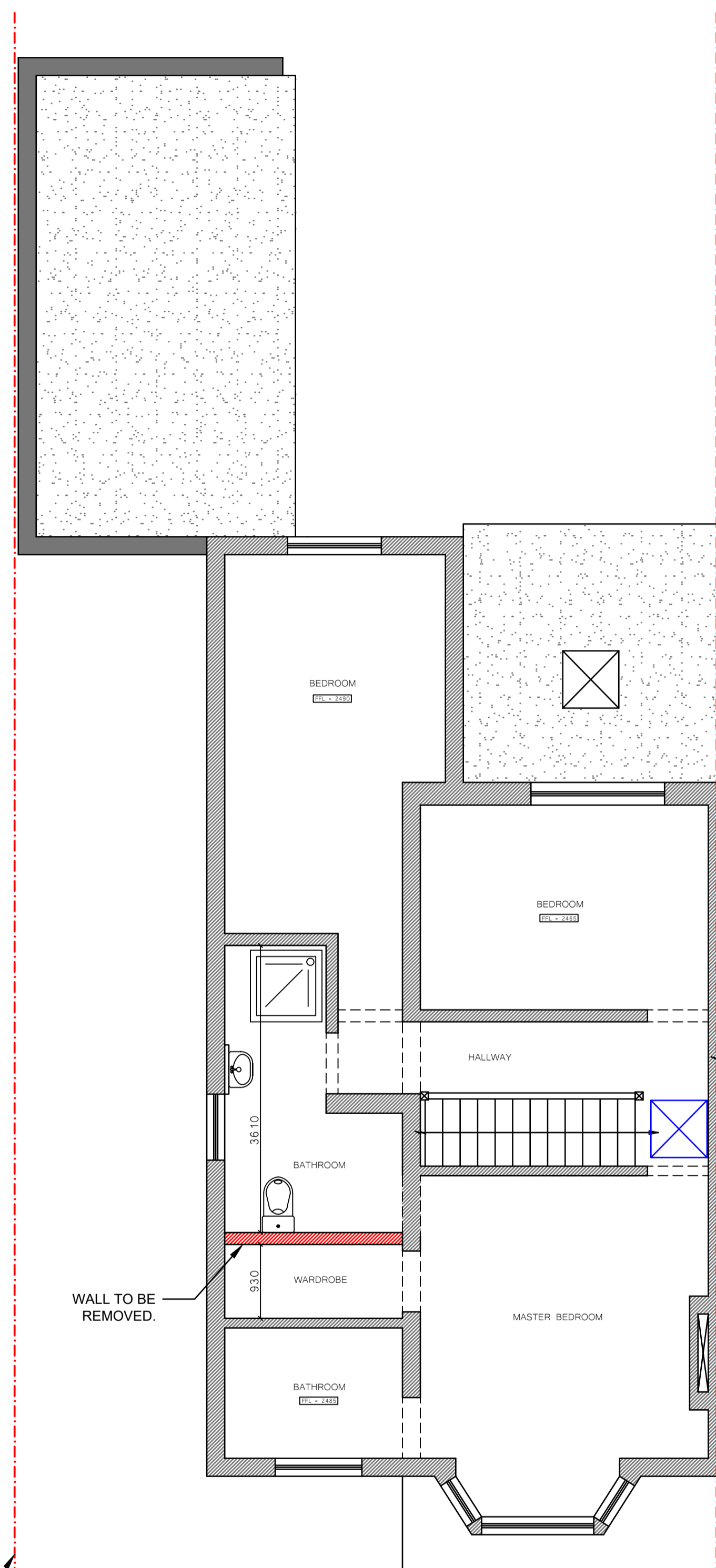
Address: 218 Summers Lane, North Finchley, London N12 0JY Contact Number: 07722092043 Email: info@kolekaengineering.co.uk Website: www.kolekaengineering.co.uk

PLANNING

Designed By RK	Date 12/04/24	Checked By RK	Date 12/04/24
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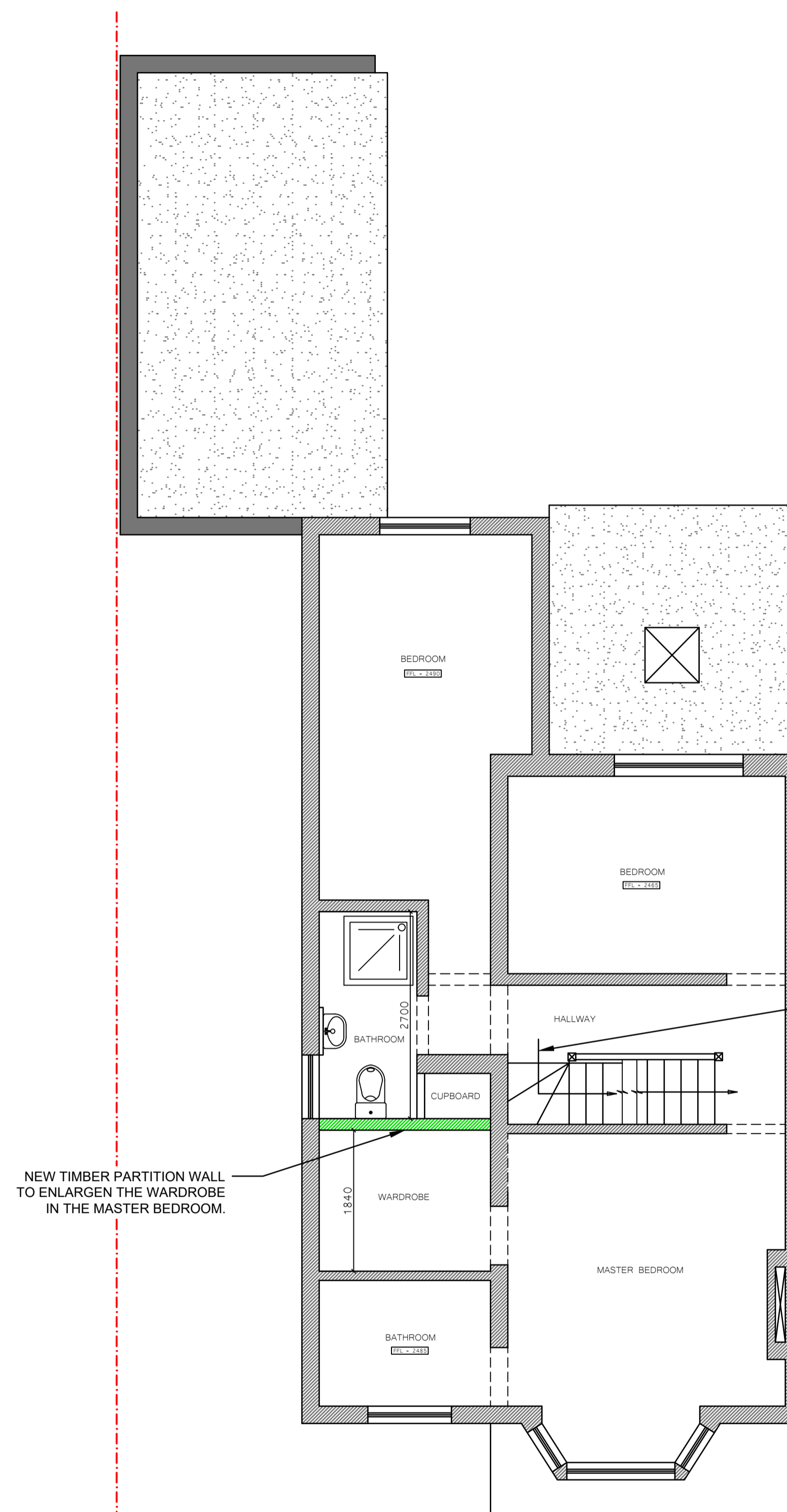
File No. 390-01 Scale AS INDICATED

Drawing No. 390-01-FOZ-RES-APP-01	Sheet No. 3 of 10	Rev No. P01
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EXISTING FIRST FLOOR
GENERAL ARRANGEMENT
SCALE 1:50

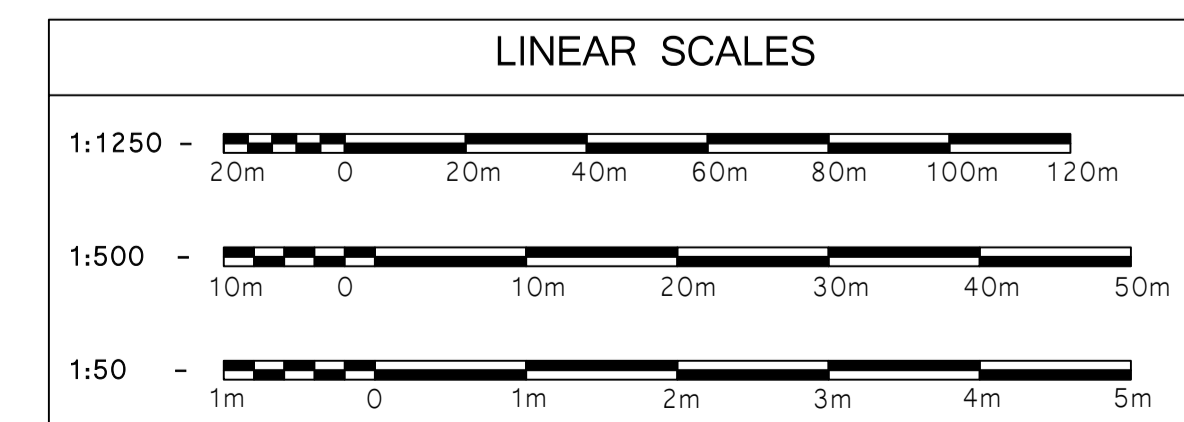
BOUNDARY LINES.



PROPOSED FIRST FLOOR
GENERAL ARRANGEMENT
SCALE 1:50

NEW TIMBER PARTITION WALL
TO ENLARGE THE WARDROBE
IN THE MASTER BEDROOM.

NEW STAIRCASE GOING UP TO
THE LOFT FLOOR LEVEL.



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Client

MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING AND PROPOSED ARR/ LOFT
FLOOR GENERAL ARRANGEMENT

KOLEKA

ENGINEERING CONSULTANTS

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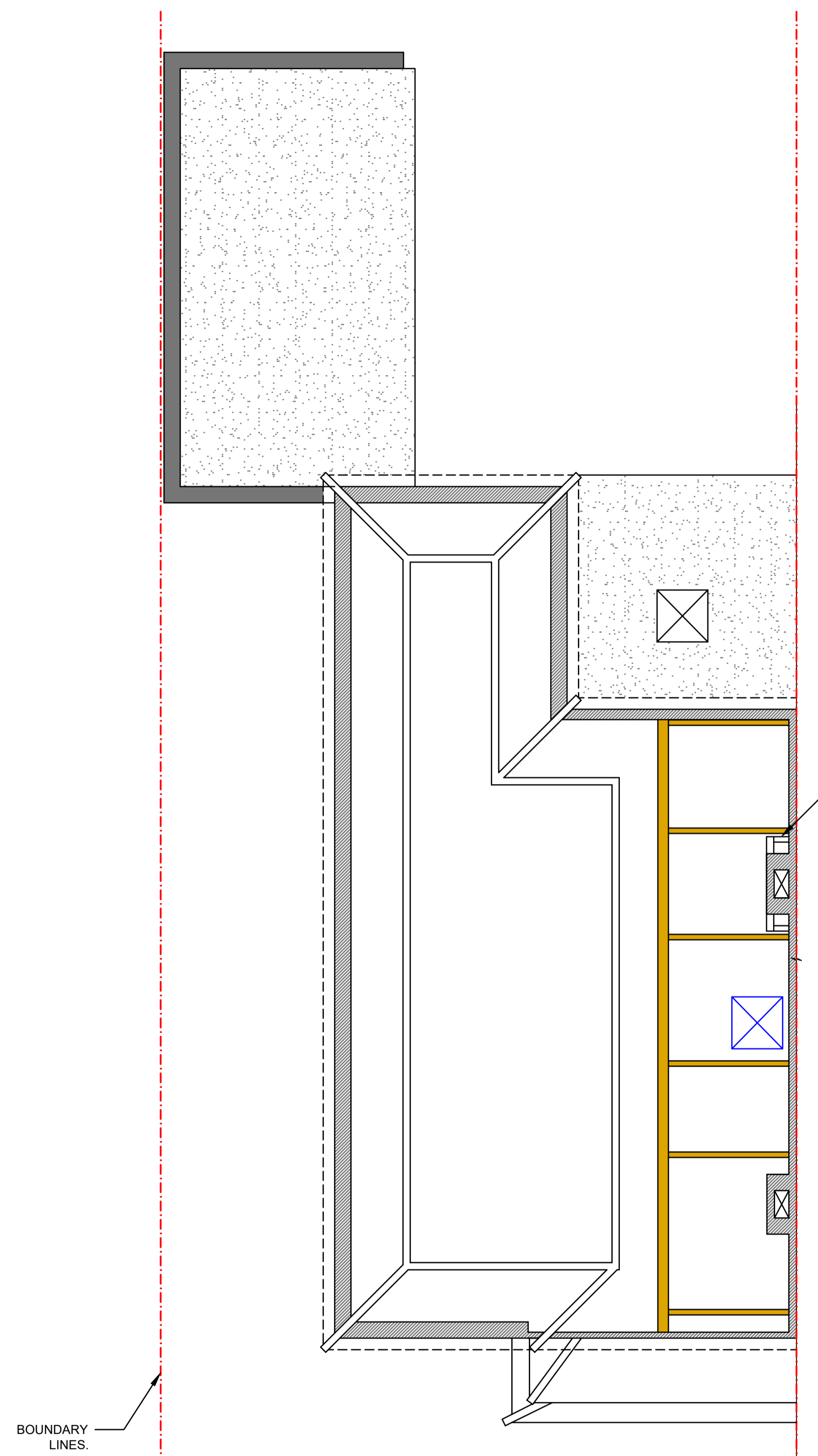
Status

PLANNING

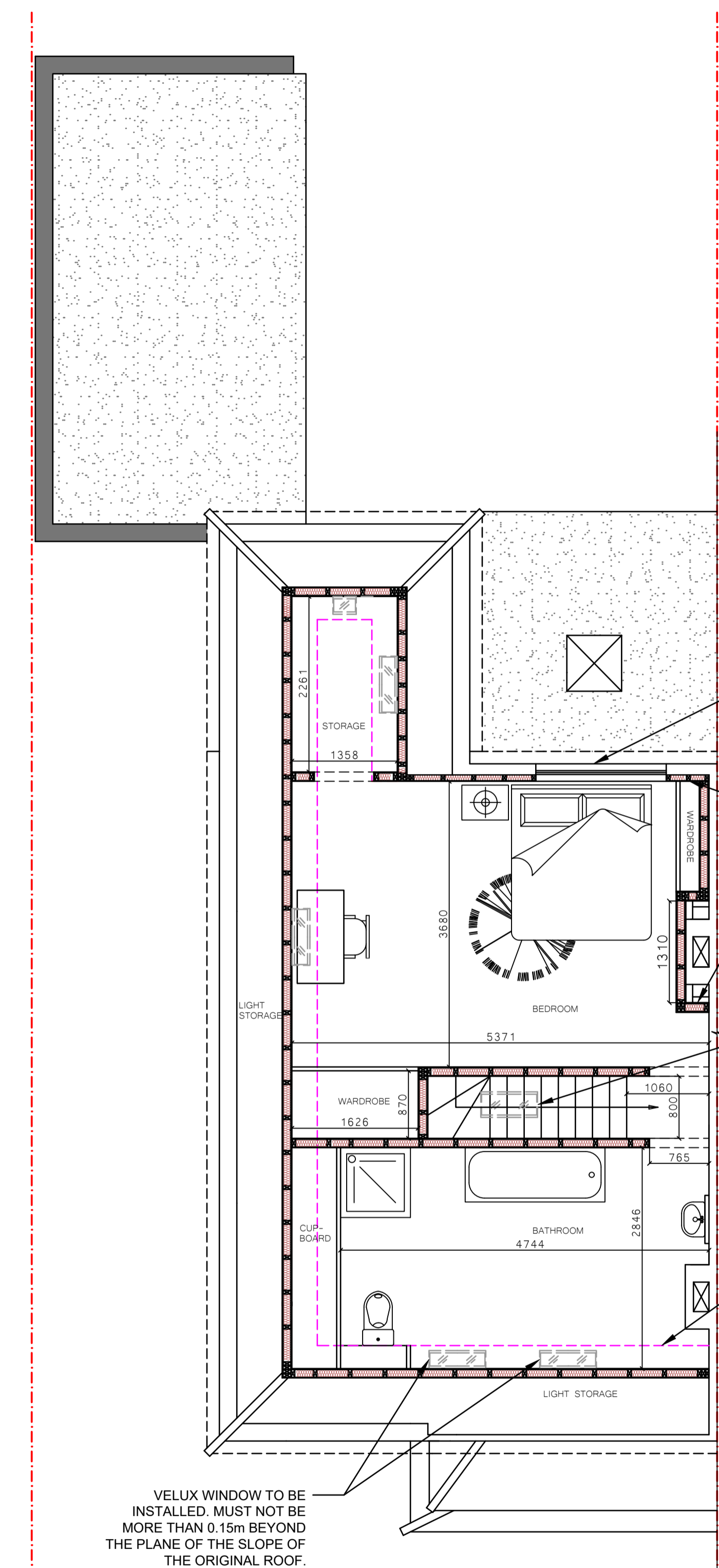
Designed By RK	Date 12/04/24	Checked By RK	Date 12/04/24
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File No. 390-01	Scale AS INDICATED
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Drawing No. 390-01-FOZ-RES-APP-01	Sheet No. 4 of 10	Rev No. P01
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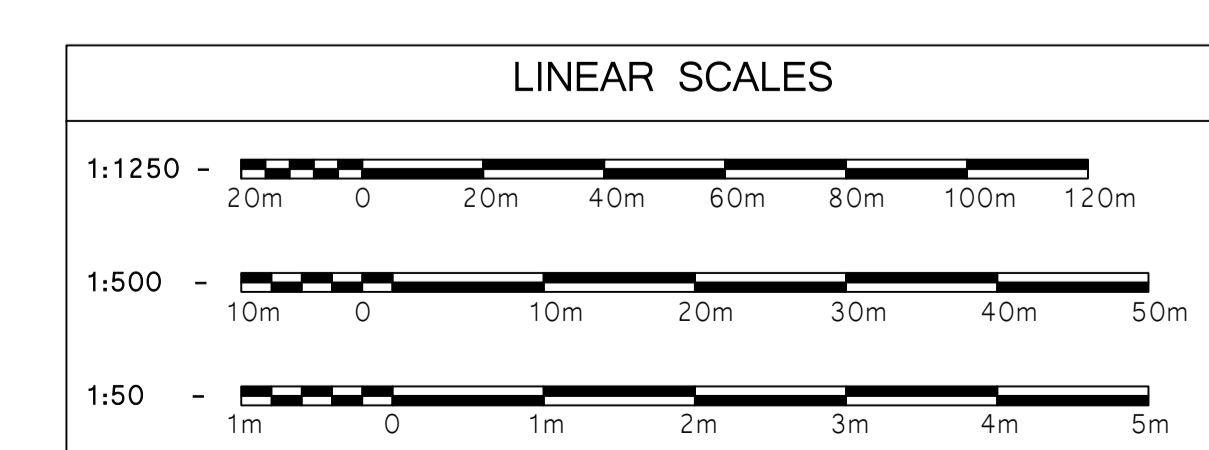


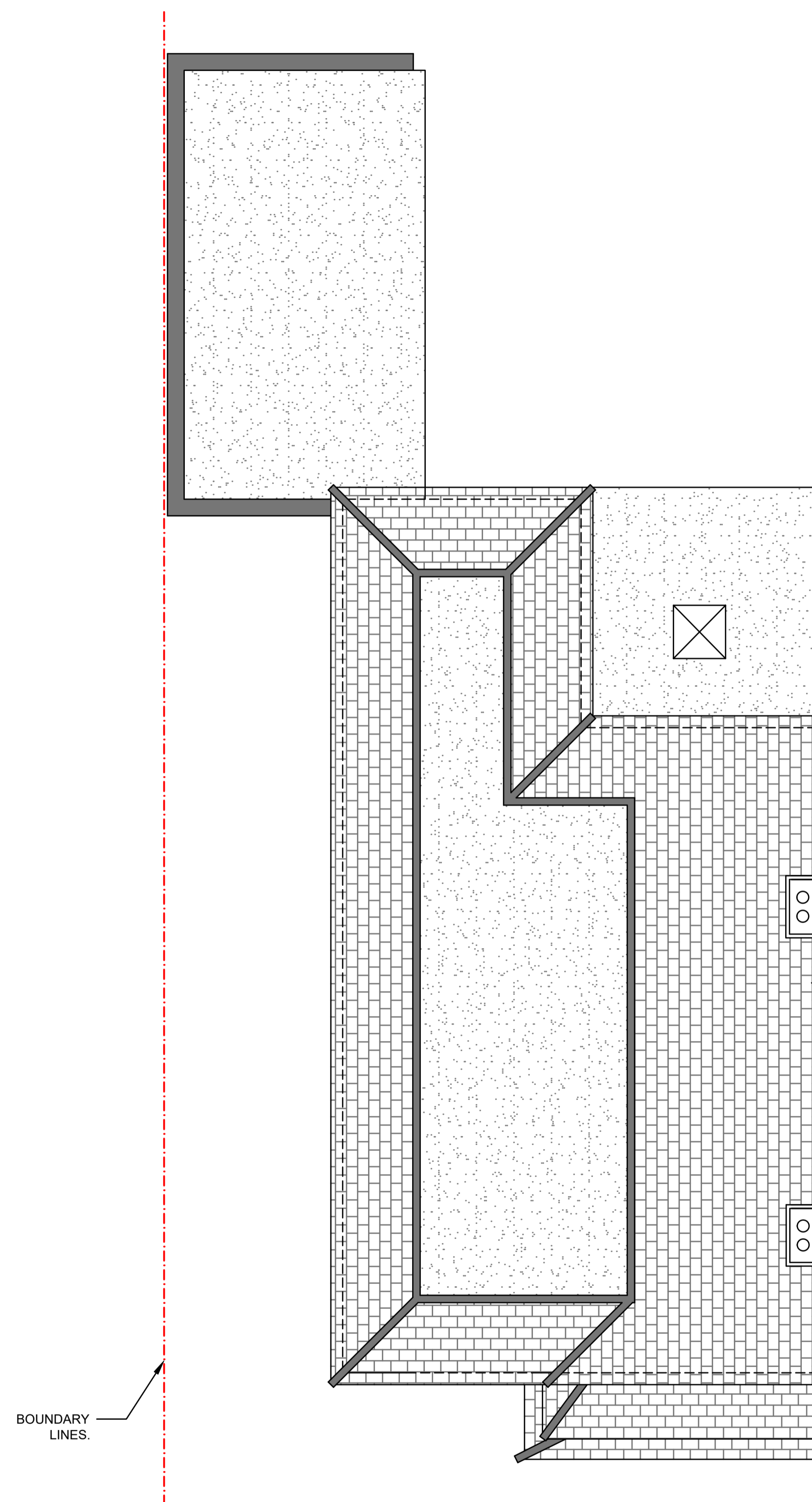
EXISTING SECOND FLOOR
GENERAL ARRANGEMENT
SCALE 1:50



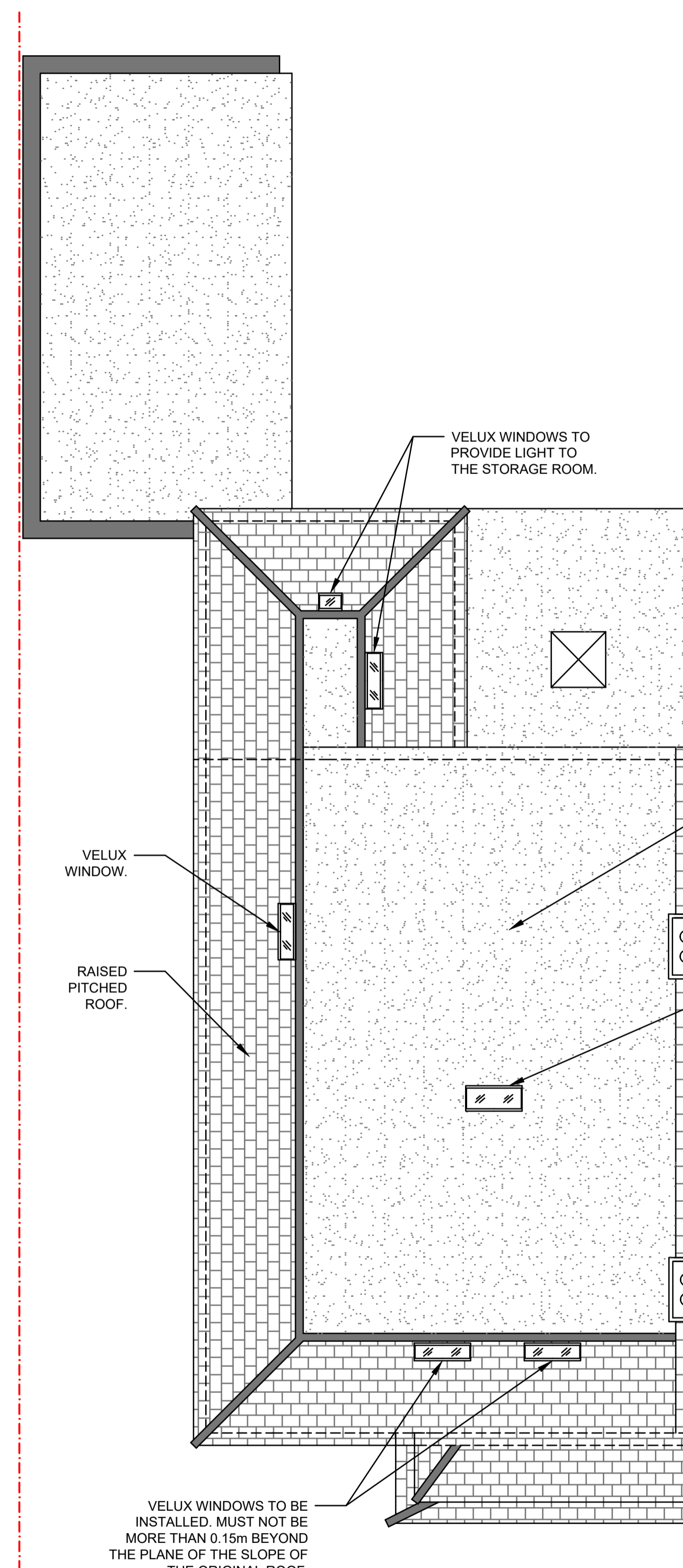
PROPOSED SECOND FLOOR
GENERAL ARRANGEMENT
SCALE 1:50

ADDITIONAL (PROPOSED) AREA = 43 m².





EXISTING ROOF
GENERAL ARRANGEMENT
SCALE 1:50



PROPOSED ROOF
GENERAL ARRANGEMENT
SCALE 1:50

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MR FOROOZ GHASSEMI

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40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

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EXISTING AND PROPOSED ROOF FLOOR
GENERAL ARRANGEMENT

KOLEKA

ENGINEERING CONSULTANTS

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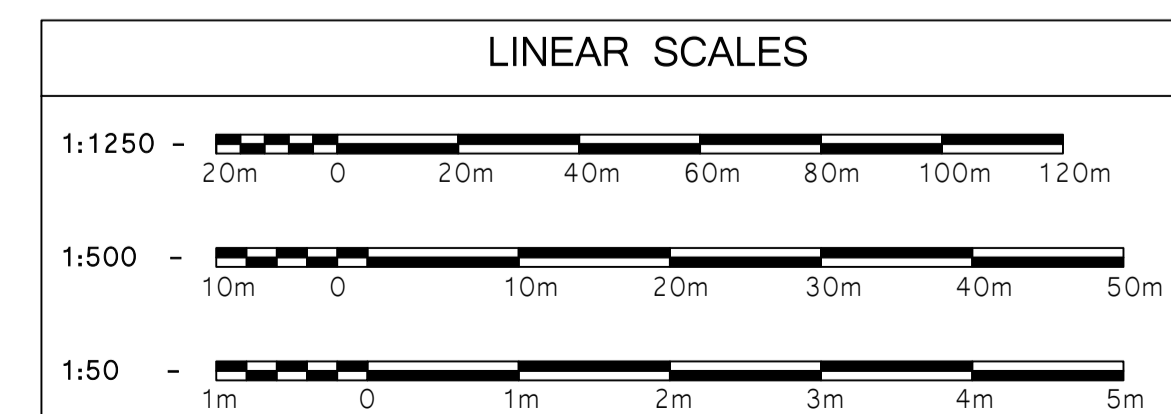
Status

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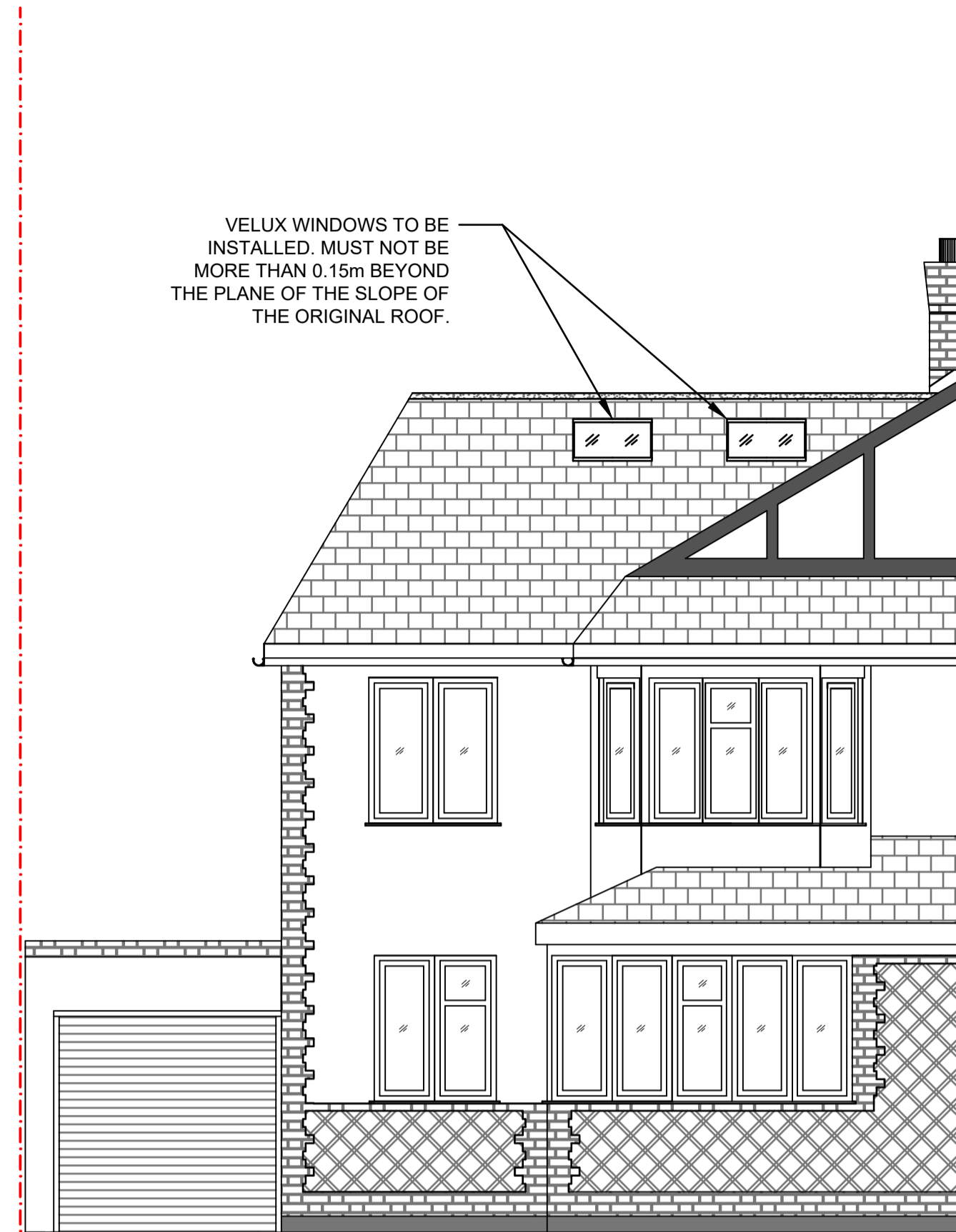
Drawing No.	Sheet No.	Rev No.
390-01-FOZ-RES-APP-01	5 of 10	P01



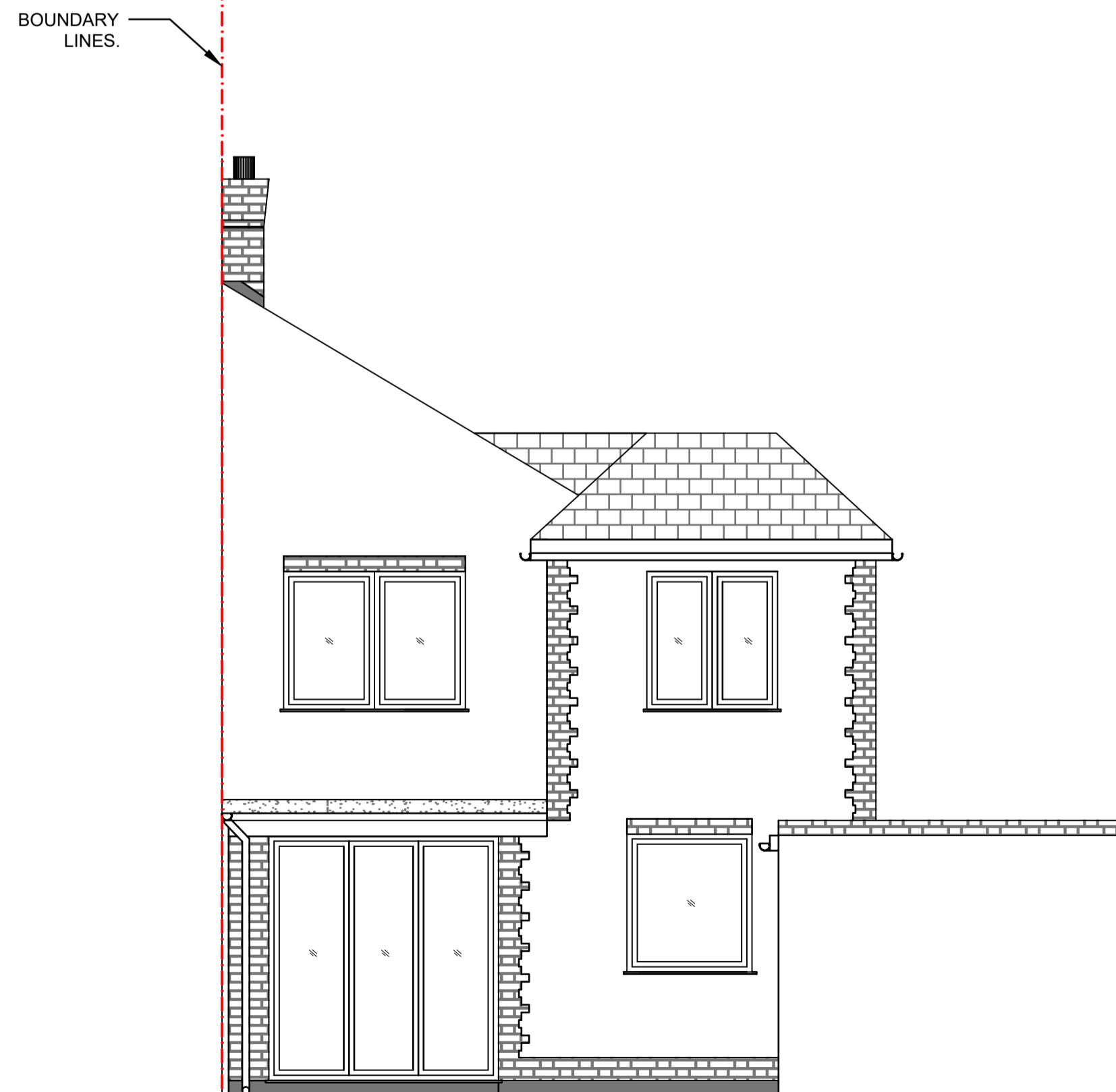
BOUNDARY LINES.



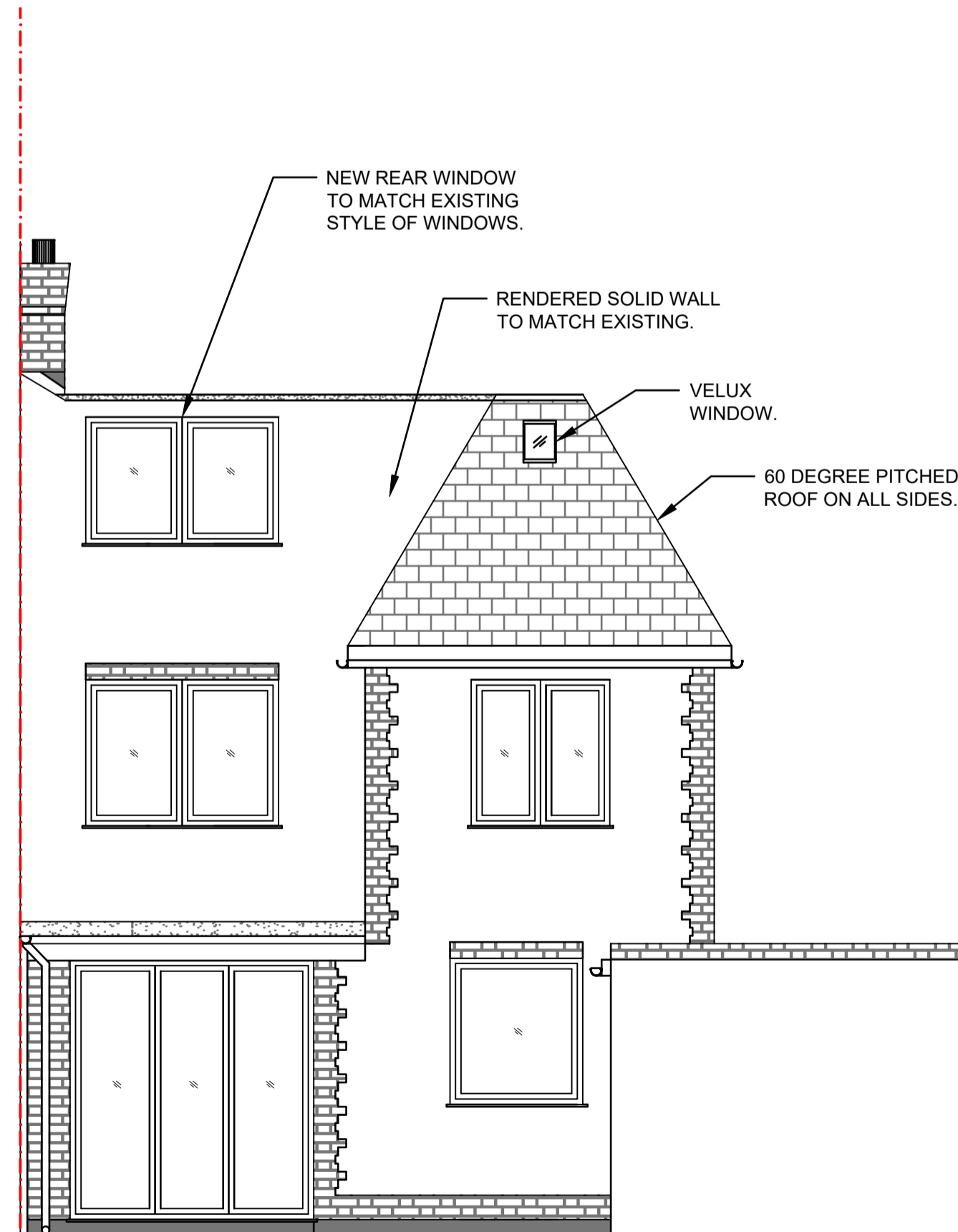
EXISTING FRONT ELEVATION
SCALE 1:50



PROPOSED FRONT ELEVATION
SCALE 1:50



EXISTING REAR ELEVATION
SCALE 1:50



PROPOSED REAR ELEVATION
SCALE 1:50

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D04	26/04/24	FINAL (2) DRAWINGS APPROVAL FOR PLANNING SUBMISSION.
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D02	19/04/24	CHANGES TO THE ROOF PITCH AND LOFT ARRANGEMENT.
D01	12/04/24	FIRST ISSUE - FOR APPROVAL

Client
MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING AND PROPOSED FRONT & REAR
ELEVATIONS

KOLEKA

ENGINEERING CONSULTANTS

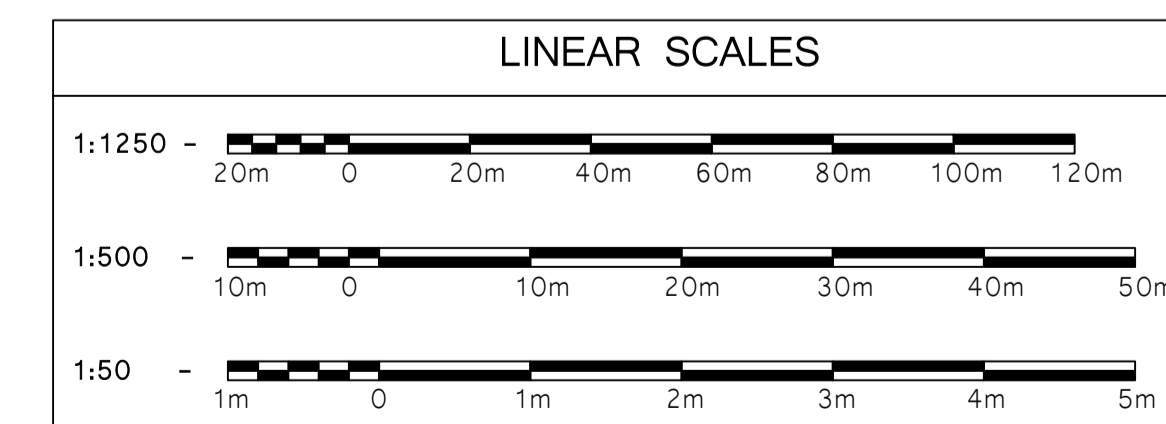
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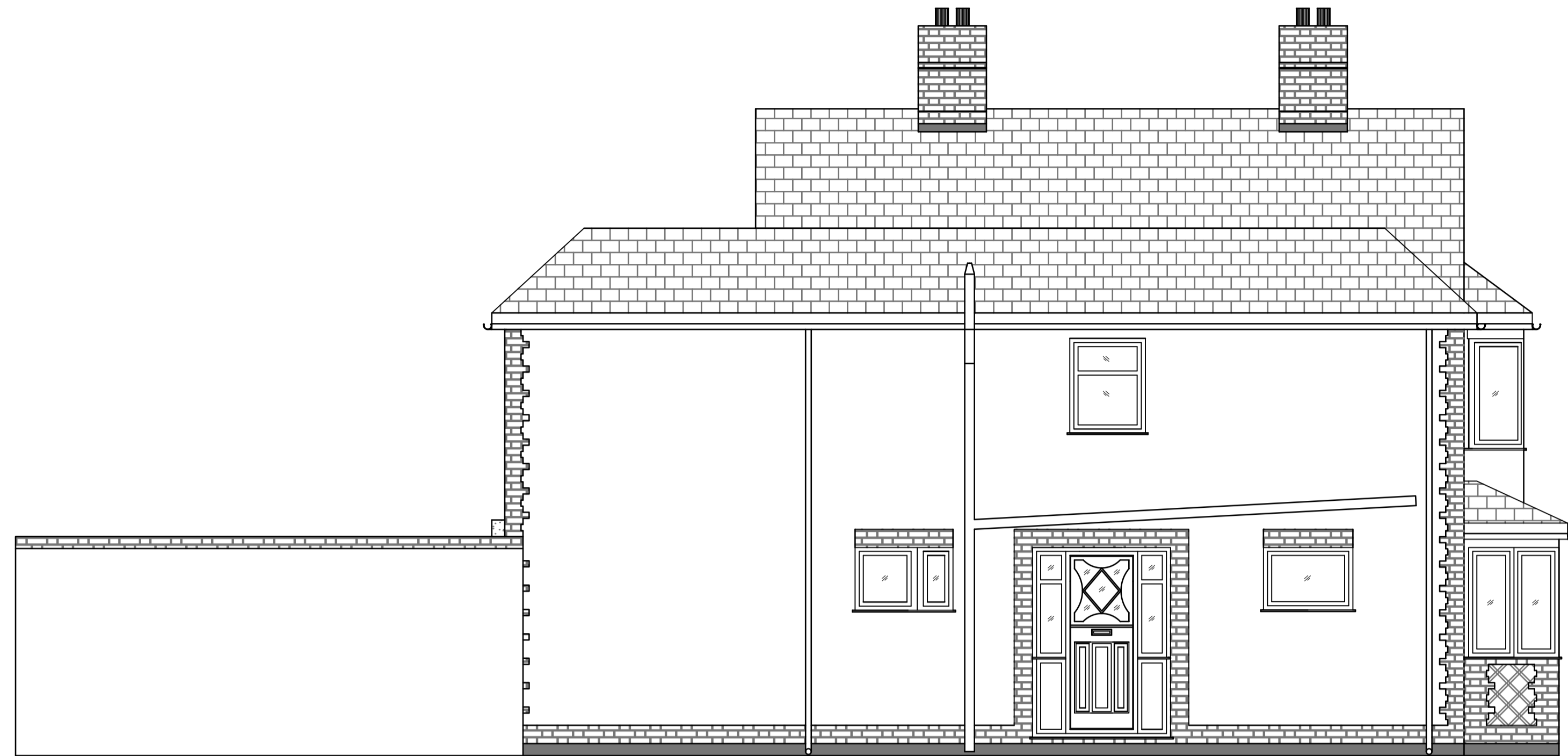
Status
PLANNING

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RK	12/04/24	RK	12/04/24

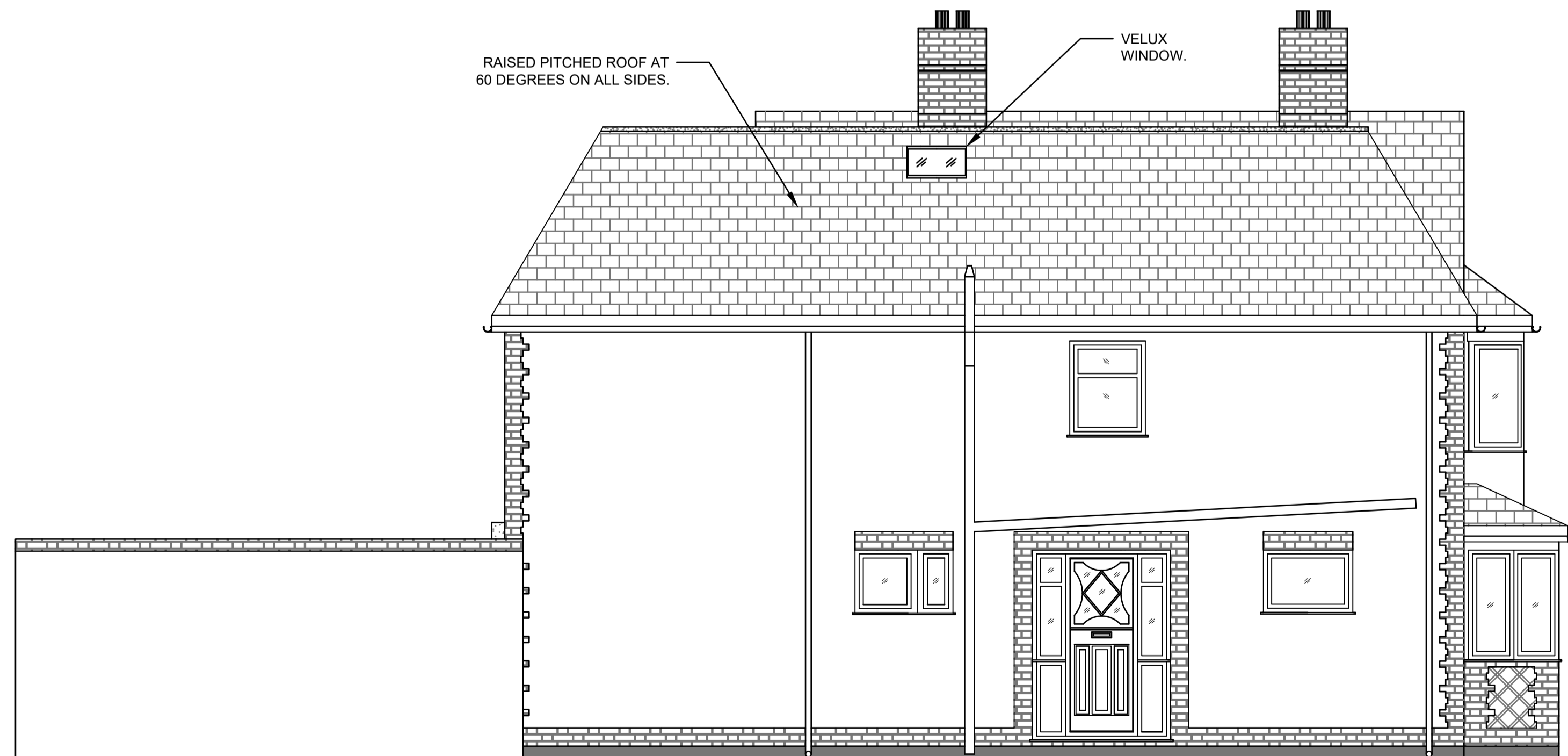
File No.	Scale
390-01	AS INDICATED

Drawing No.	Sheet No.	Rev No.
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EXISTING EAST
SIDE ELEVATION
SCALE 1:50



PROPOSED EAST
SIDE ELEVATION
SCALE 1:50

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SOLID WALL
	WALL TO BE REMOVED
	WALL TO BE CONSTRUCTED
	BRICKWORK WALL
	BLOCKWORK WALL
	NON LOAD-BEARING WALLS
	TIMBER STUD LOAD-BEARING WALLS
	INDICATES EXISTING CEILING BEAMS
	PROPOSED STEEL BEAM (1)
	PROPOSED Lintel (1)
	PROPOSED STEEL COLUMN (1)
	PROPOSED TIMBER MEMBER (T1)
	REFERS TO CONCRETE PADSTONE (1)
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	DIRECTION OF CONCRETE SLAB (1)
	DIRECTION OF STAIRS GOING UP
	INDICATES PERIMETER OF NEW FOUNDATIONS
	REFERS TO SECTION "A" FROM SHEET 01
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MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING AND PROPOSED SIDE (FACING
EAST) ELEVATION

KOLEKA

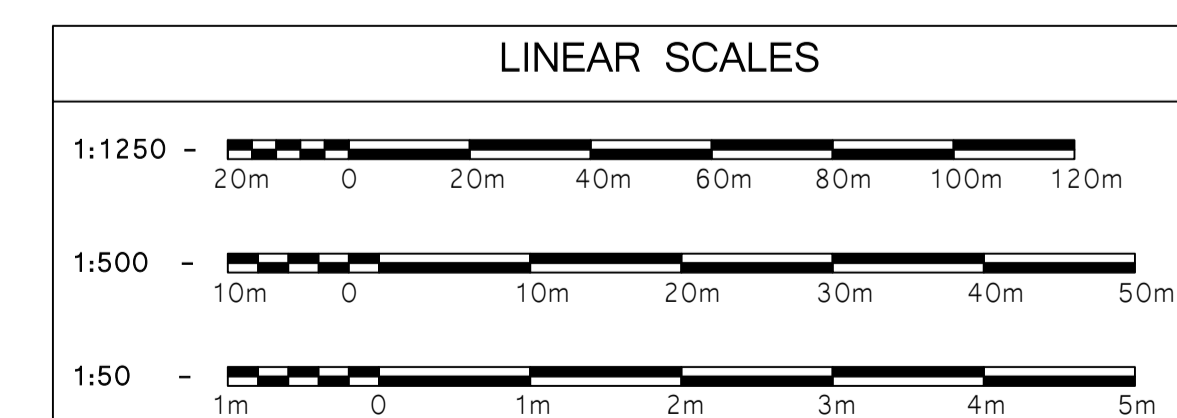
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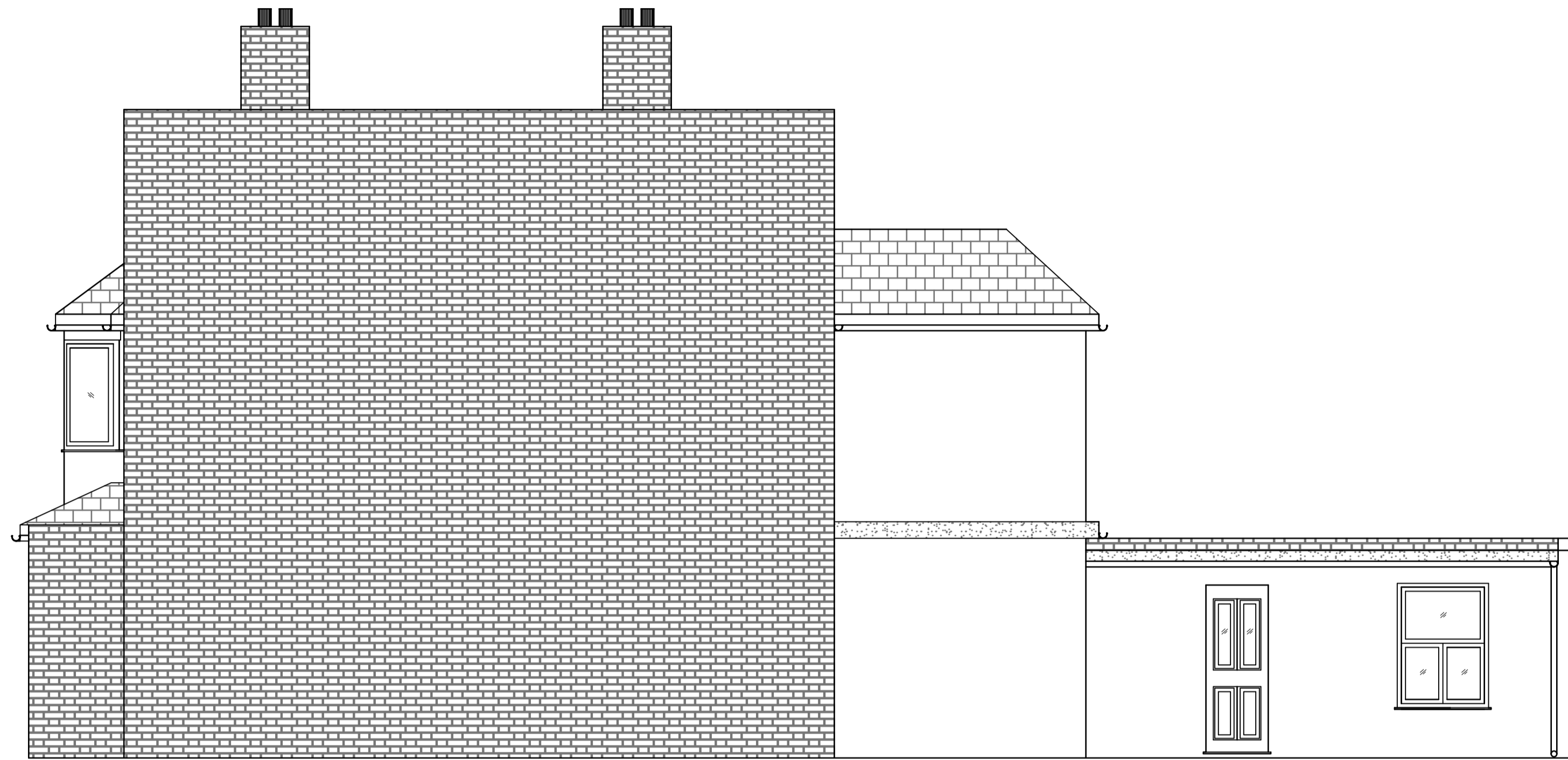
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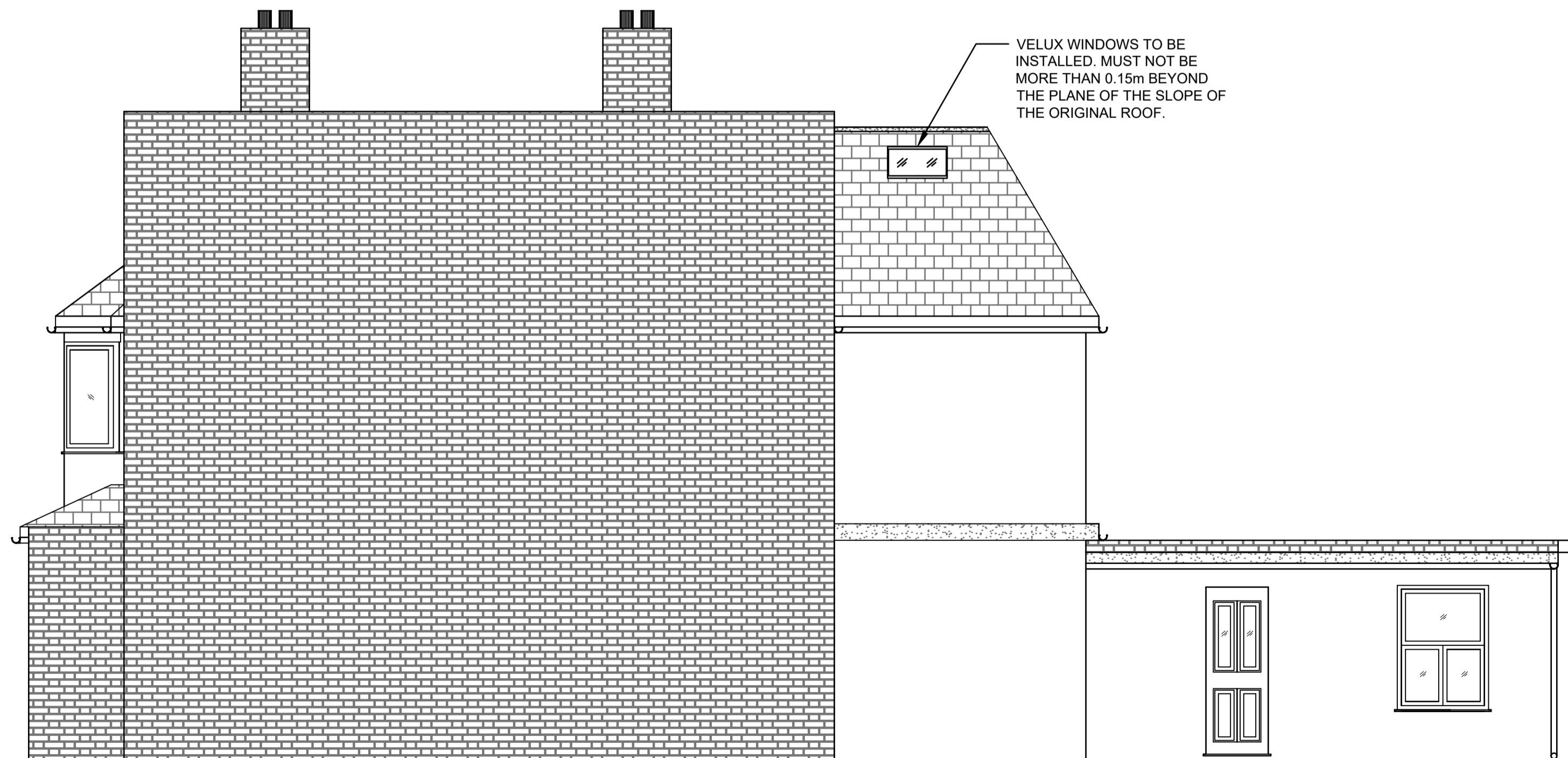
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RK	12/04/24	RK	12/04/24
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Drawing No.	390-01-FOZ-RES-APP-01	Sheet No.	7 of 10
		Rev No.	P01





EXISTING WEST
SIDE ELEVATION
SCALE 1:50



PROPOSED WEST
SIDE ELEVATION
SCALE 1:50

LEGEND	
SYMBOL	DESCRIPTION
	EXISTING SOLID WALL
	WALL TO BE REMOVED
	WALL TO BE CONSTRUCTED
	BRICKWORK WALL
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	PROPOSED STEEL BEAM (1)
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	PROPOSED TIMBER MEMBER (1)
	REFERS TO CONCRETE PADSTONE (1)
	FFL FINISHED FLOOR TO CEILING HEIGHT *SFL* STRUCTURAL FLOOR TO CEILING HEIGHT
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	DIRECTION OF TIMBER FLOOR JOISTS (1)
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MR FOROOZ GHASSEMI

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40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING AND PROPOSED SIDE (FACING
WEST) ELEVATION

KOLEKA
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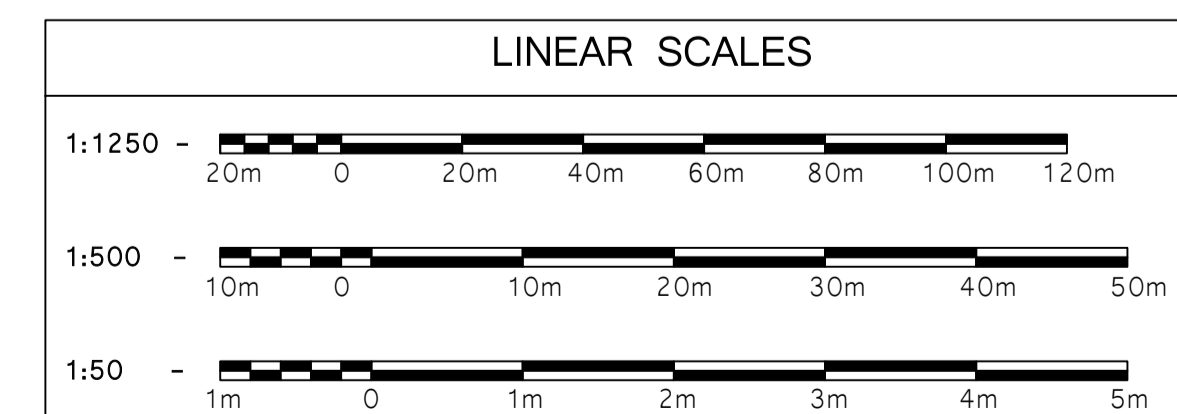
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390-01	AS INDICATED

Drawing No.	Sheet No.	Rev No.
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LEGEND	
SYMBOL	DESCRIPTION
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	WALL TO BE REMOVED
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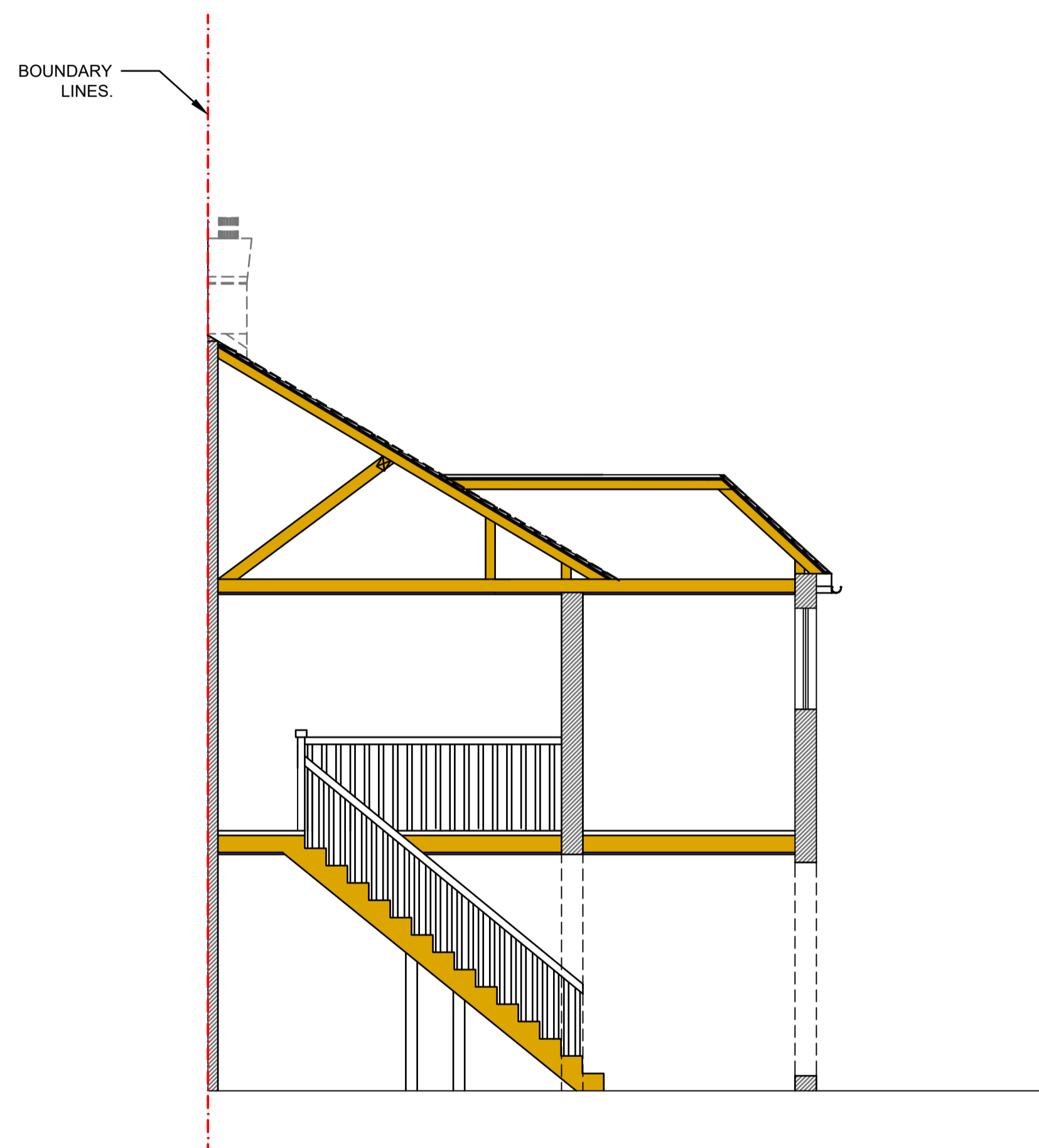
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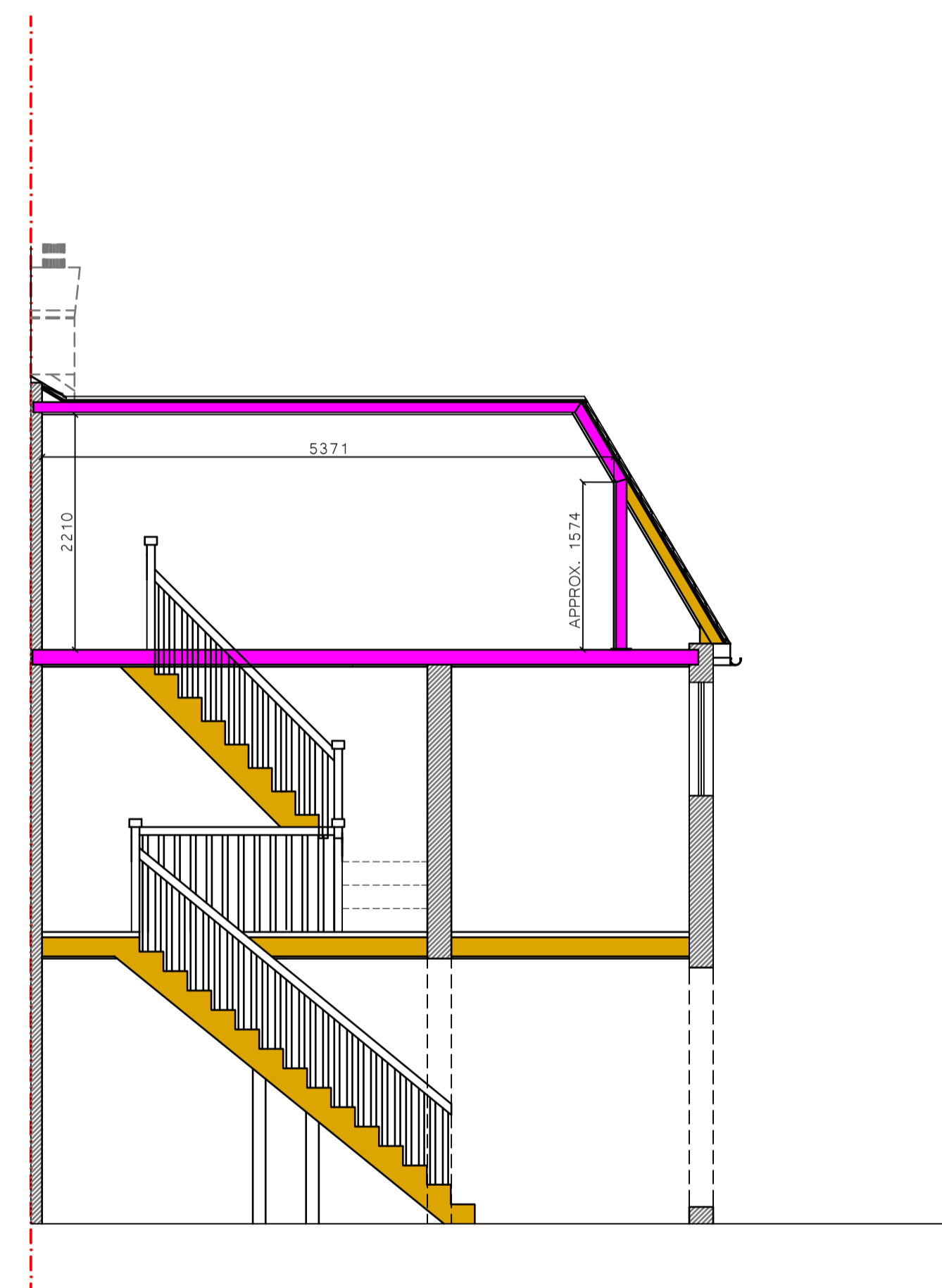
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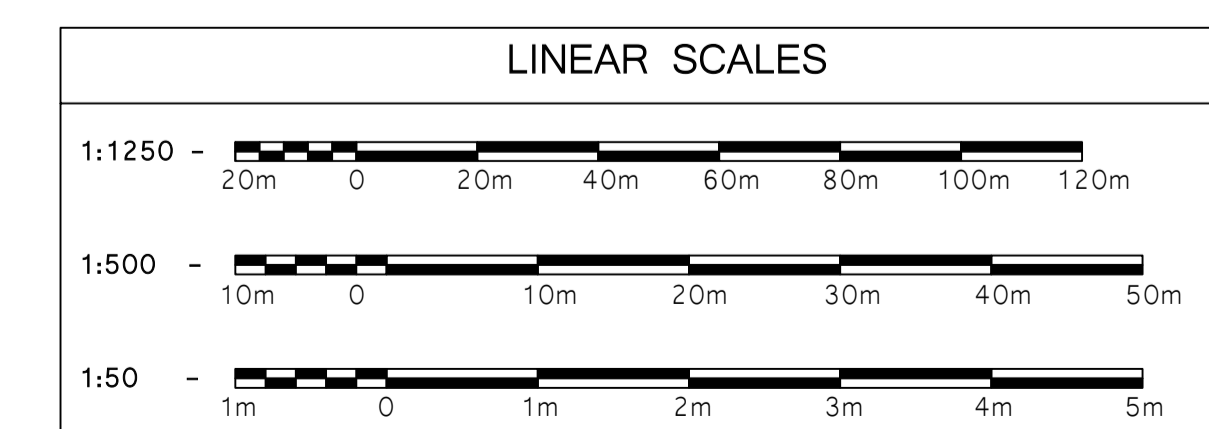
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EXISTING SECTION
REAR VIEW
SCALE 1:50



PROPOSED SECTION
REAR VIEW
SCALE 1:50



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MR FOROOZ GHASSEMI

Project Title
40 GREAT BUSHEY DRIVE,
LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
EXISTING AND PROPOSED SECTION
DRAWINGS

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File No. 390-01 Scale AS INDICATED

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GENERAL NOTES

- 1) ALL NEW WORK TO BE CARRIED OUT IN ACCORDANCE WITH GOOD BUILDING PRACTICE AND TO COMPLY WITH ALL STATUTORY REQUIREMENTS AND EUROCODE/BRITISH STANDARDS.
- 2) PRIOR TO ANY WORK BEING UNDERTAKEN AND PRIOR TO ANY STEELS BEING ORDERED THE CONTRACTOR MUST EXPOSE AND CHECK THE EXISTING STRUCTURE TO ENSURE THAT ALL PROPOSALS ARE APPROPRIATE TO SUPPORT THE EXISTING STRUCTURE.
- 3) ALL BEAMS TO BE ENCASED WITH 2No. 12.5mm FIRELINE BOARD AND SKIN COAT PLASTER TO GIVE 1 HOUR FIRE PROTECTION.
- 4) ALL ELECTRICAL WORKS TO BE CARRIED OUT BY A COMPETENT PERSON AND AN APPROPRIATE TEST CERTIFICATE TO BE PROVIDED ON COMPLETION OF WORKS. ALL LIGHT FITTINGS TO ACCORD WITH DOMESTIC BUILDING SERVICES COMPLIANCE GUIDE. AT LEAST THREE OUT OF FOUR FITTINGS TO BE LOW ENERGY TYPE I.E HAVE LUMINOUS EFFICIENTLY OF NOT LESS THAN 45 LUMENS PER CIRCUIT-WATT AND TOTAL OUTPUT GREATER THAN 400 LAMP LUMENS. EXCLUDE LIGHT FITTINGS SUPPLIED BY LESS THAN 5 WATTS FROM OVERALL COUNT.
- 5) REFER TO STRUCTURAL ENGINEERS CALCULATIONS AND DRAWINGS FOR STRUCTURAL CONSTRUCTION NOTES REGARDING ALL MATERIALS AND DETAILING REQUIREMENTS.
- 6) EXTENSION CEILING JOISTS TO BE TIED DOWN TO WALLS SECURELY WITH 30X5X750MM LONG GALVANIZED TWIST STRAPS AND PLUGGED TO BLOCKWORK. STRAPS TO BE FIXED AT EVERY THIRD CEILING JOISTS.
- 7) ALL TIMBERS USED TO BE GRADE C24 UNLESS OTHERWISE STATED. THE SIZES ARE TO BE CONFIRMED BY THE ENGINEER.

STEELWORK

- 1) FOUNDATIONS/WALLS - SHALL BE FORMED PRIOR TO INSTALLATION OF BEAMS;
- 2) STEEL GRADES - STEEL SHOULD BE GRADE S355 UNLESS AGREED OTHERWISE WITH THE CLIENT/CONTRACTOR/ENGINEER PRIOR. BEAMS SHOULD BE DESIGNED IN ACCORDANCE WITH EUROCODES/ BRITISH STANDARDS;
- 3) BEARING SUPPORTS - CONCRETE PADSTONES SHOULD BE PROVIDED AT THE SUPPORTS TO THE ENGINEERS SPECIFICATIONS;
- 4) MINIMUM BEARING LENGTH OF BEAMS SHOULD BE 150mm ON BOTH SIDES;
- 5) GAPS - BEAM/MASONRY - SHALL BE RAMMED WITH 3:1 SHARP SAND/CEMENT DRY PACK OR BUILT UP IN BRICKWORK;
- 5) GAPS - BEAM/TIMBER - SHALL BE BUILT UP WITH TIMBER BLOCKING.

ROOF

NEW ROOFS TO BE HIGH PERFORMANCE GRP ROOFING SOLUTION LAID IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS BONDED TO OSB BOARD ON 75MM KINGSPAN KOOLTHERM K107 PITCHED ROOF BOARD INSULATION BEDDED ON VAPOUR CONTROL LAYER ON 12mm MARINE PLYWOOD ON FIRING PIECES TO PROVIDE A MINIMUM FALL OF 1:40 ON C24 ROOF JOISTS @ 450MM C/CS. INTERNAL FINISH TO BE 12.7MM FOILBACKED PLASTERBOARD AND SKIM COAT PLASTER. U-VALUE - 0.15 W/M²K. ADDITIONAL JOISTS ARE REQUIRED AROUND THE SKYLIGHT PERIMETER (WHERE APPLICABLE).

WALLS

- 1) INTERNAL WALLS TO BE MADE FROM CONCRETE BLOCKS FOR RESIDENTIAL USE OR TIMBER STUDS FOR PARTITION INTERNAL WALLS;
- 2) EXTERNAL WALLS TO COMPRISE OF A SINGLE LAYER OF BLOCKWORK AND A SINGLE LAYER OF BRICKWORK TO FORM PART OF A CAVITY WALL CONSTRUCTION. TYPICAL CAVITY THICKNESS WILL BE ADOPTED;
- 3) EXTERNAL WALLS TO HAVE REQUIRED INSULTATION TO ACHIEVE A MAX. U-VALUE OF 0.18 W/m².k.

WINDOWS

- 1) TO BE INSTALLED AS PER THE MANUFACTURERS SPECIFICATIONS AND GUIDELINES;
- 2) MUST BE INSTALLED AS PER THE UK BUILDING REGULATIONS AND FROM A HEIGHT FROM FLOOR LEVEL OF NO MORE THAN 1.1m AND;
- 3) WINDOWS MUST ACHIEVE A MAX. U-VALUE OF 1.40 W/m².k.



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MR FOROOZ GHASSEMI

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LONDON, N20 8QL

Drawing Title
PLANNING LOFT CONVERSION
PLANNING NOTES

KOLEKA

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