



## **Planning, Design & Access Statement**

*'Hip to gable extension, loft conversion with rear dormer and rooflights. Front single storey extension, fenestration alterations and reconfiguration of layout'*

*at*

*12 Russell Road, East Wittering, Chichester, PO20 8EF*

*April 2024*



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## 1. Introduction

1.1 This Planning, Design and Access Statement is submitted in support of the planning application to Chichester District Council for the proposed *hip to gable extension, loft conversion with rear dormer and rooflights. Front single storey extension, fenestration alterations and reconfiguration of layout* at 12 Russell Road, East Wittering, Chichester, PO20 8EF.



*Proposed Front and Rear Elevations*

- 1.2 In summary, the application proposes a series of internal and external alterations which include the creation of a single storey protruding front elevation to the property in line with other neighbouring properties within the location, the provision of a hip to gable end extension to the side elevation and insertion of rear dormer window.
- 1.3 This application seeks to *help raise the standard of design more generally in the area* whilst also fitting in with the overall form and layout of its surrounding; fully in accordance with paragraph 139(b) of the National Planning Policy Framework (December 2023).

## 2. Character of the Surrounding Area



*The Application Site*

- 2.1 The application site falls to the eastern side of Russell Road, East Wittering and comprises a 1.5 storey dwelling finished in the bungalow form.
- 2.2 The properties along the eastern side of Russell Road predominantly feature a 1.5 storey form, but their consistency, coherence and overall contributing features towards the character of the area derive from their consistent set back from the Russell Road and boundary landscaping.
- 2.3 Properties all feature a set back of approximately 19 metres from Russell Road with their off-street parking provision provided on the roadside portion of their front gardens.
- 2.4 Most properties within the area feature low lying boundary treatments in the form of either trimmed hedging or boundary walling. The heights of these boundary treatments establish the open nature of Russell Road and promote the visibility of the properties situated within this locality.
- 2.5 The above features culminate in the defining character and appearance of the Russell Road locality and comprise the baseline from which proposed development should be assessed.

### 3. The Site



*Extract from Google Maps showing Location of the Site*

- 3.1 The application site comprises one half of a set of semi-detached bungalows though owing to boundary treatments and vegetation these are appreciated, from Russell Road, as two separate properties in their own rights.
- 3.2 The primary building line is set back from Russell Road by 19 metres which is consistent with all other properties within the locality.
- 3.3 Unlike its neighbours, the application site has not been extended, modified or reconfigured in any way since its original development in the c. 1970s. Other properties immediately adjacent to the application site have been extended forward of their primary building line through the provision of gable end protruding extensions over ground floor.
- 3.4 The building is finished in red hanging tiles to the roof, white render and dwarf red brick detailing with UPVC windows.
- 3.5 A singular central chimney stack, along with the boundary treatments along the front garden, defines the boundary between the application property and its neighbour.

## 4. Proposed Development



*Proposed Front and Rear Elevations*

- 4.1 The planning application proposes the *hip to gable extension, loft conversion with rear dormer and rooflights. Front single storey extension, fenestration alterations and reconfiguration of layout* at 12 Russell Road, East Wittering, PO20 8EF.
- 4.2 In summary, the proposed development seeks to introduce a hipped single storey extension forward of the primary elevation in line with similar neighbouring developments within the Russell Road locality.
- 4.3 The proposed hip to gable end extension to the northern side elevation of the property seeks to allow the insertion of the flat roofed rear dormer window in order to maximise the potential internal floor space of the dwelling.
- 4.4 The proposed development also includes some more minor subsidiary supporting elements to the development which include the provision of flush fitting rooflights in the primary roof pitch of the dwelling and single storey front extension.
- 4.5 Additionally, high level windows will be installed in the northern side elevation which will be both high level and will serve the snug room and kitchen areas internally.
- 4.6 The proposed plans do not specify a set of materials at this initial stage; however, the applicants can expressly confirm that they are content to accept the imposition of an appropriately worded materials condition requiring details of their specification to be submitted to, and agreed in writing, with the Local Planning Authority.
- 4.7 Paragraph 139 of the National Planning Policy Framework (December 2023) requires *significant* weight to be given to designs which help raise the standards of design more generally in an area.



4.8 For the reasons set out in full in this Planning, Design and Access Statement, the proposed design and finishing will ensure that the final dwelling will help raise the standards of design more generally in an area; thus triggering *significant* weight being given to the proposal.

## 5. Planning History

LPA Ref	Proposed Development	Decision
23/00536/DOM	<i>Erection of incidental outbuilding to form store/workshop</i>	Refused

### 23/00536/DOM

5.1 Planning application 23/00536/DOM proposed the above development on the application site which, in summary, comprised the erection of an outbuilding near the Russell Road position towards the very front of the application site.

5.2 The Local Planning Authority subsequently assessed the application and issued a refusal of planning permission under delegated authority on the basis of the following:

*The proposed outbuilding, by reason of its siting, size and bulk would result in a visually dominant and incongruous form of development that would detract from the visual amenity of the established character of the landscape and wider streetscene. It would consequently appear out of character with, and would be detrimental to, the character and appearance of the area. Consequently, the proposed development is contrary to Section 12 of the NPPF and Policy 33 of the Chichester Local Plan.*

5.3 This application does not propose any development that would be overt from Russell Road and solely comprises an extension, which has the visual appearance of a subservient extension to the main dwelling, akin to neighbouring properties within the nearby area.

5.4 As a result, the applicant's submit that the assessment of application 23/00536/DOM does not have a material bearing upon the assessment of this submitted application.



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## 6. Planning Policy

### National Planning Policy Framework (December 2023)

- 6.1 The National Planning Policy Framework (NPPF) was updated in December 2023 and provides the overarching guidance guiding development throughout the UK. Paragraph 224 of the Framework makes clear that *the policies in this Framework are material considerations which should be taken into account in dealing with applications from the day of its publication.*
- 6.2 The NPPF introduced the three roles to sustainable development in paragraph 8 of the Framework. Paragraph 7 (NPPF) makes clear that *the purpose of the planning system is to contribute to the achievement of sustainable development, including the provision of homes.*
- 6.3 Paragraph 8 states that *achieving sustainable development means that the planning system has three overarching objectives, which are interdependent and need to be pursued in mutually supportive ways.* These three roles comprise:

#### *Economic Objective*

By ensuring that sufficient land of the right types is available in the right places and at the right time to support growth and innovation.

#### *Social Objective*

By ensuring that a sufficient number and range of homes can be provided to meet the needs of present and future generations; and by fostering well-designed beautiful and safe places.

#### *Environmental Objective*

By making effective use of land.

- 6.4 Paragraph 11(c) states that *decisions should apply a presumption in favour of sustainable development by approving development proposals that accord with an up-to-date development plan without delay.*
- 6.5 Paragraph 12 makes clear that *the presumption in favour of sustainable development does not change the statutory status of the development plan as the starting point for decision making... Local planning authorities may take decisions that depart from an up-to-date development plan, but only if material considerations in a particular case indicate that that plan should not be followed.*





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- 6.6 Paragraph 38 states that *Local planning authorities should approach decisions on proposed development in a positive and creative way. Decision-makers at every level should seek to approve applications for sustainable development where possible.*

#### **Determining Planning Applications**

- 6.7 Paragraph 47 states *planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. Decisions on applications should be made as quickly as possible, and within statutory timescales unless a longer period has been agreed by the applicant in writing.*

#### **Planning Conditions and Obligations**

- 6.8 Paragraph 55 states *local planning authorities should consider whether otherwise unacceptable development could be made acceptable through the use of conditions or planning obligations.*
- 6.9 Paragraph 56 states *planning conditions should be kept to a minimum and only imposed where they are necessary, relevant to planning and to the development to be permitted, enforceable, precise and reasonable in all other respects. Agreeing conditions early is beneficial to all parties involved in the process and can speed up decision making. Conditions that are required to be discharged before development commences should be avoided, unless there is a clear justification.*

#### **Promoting Sustainable Transport**

- 6.10 Paragraph 112 states *maximum parking standards for residential and non-residential development should only be set where there is a clear and compelling justification that they are necessary for managing the local road network, or for optimising the density of development in city and town centres and other locations that are well served by public transport (in accordance with chapter 11 of the Framework).*
- 6.11 Paragraph 114 states *in assessing specific applications for development, it should be ensure that:*
- a) appropriate opportunities to promote sustainable transport modes can be - or have been - taken up, given the type of development and its location;*
  - b) safe and suitable access to the site can be achieved for all users;*



- c) *the design of streets, parking areas, other transport elements and the content of associated standards reflects current national guidance, including the National Design Guide and the National Model Design Code; and*
- d) *any significant impacts from the development on the transport network (in terms of capacity and congestion), or on highway safety, can be cost effectively mitigated to an acceptable degree.*

6.12 Paragraph 115 states *development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.*

#### **Making Effective Use of Land**

6.13 Paragraph 123 states *planning policies and decisions should promote an effective use of land in meeting the need for homes and other uses.*

6.14 Paragraph 124 states *planning decisions should:*

- b) *recognise that some undeveloped land can perform many functions*
- c) *give substantial weight to the value of using suitable brownfield land within settlements for homes and other identified needs*
- d) *promote and support the development of under-utilised land and buildings, especially if this would help to meet identified needs for housing where land supply is constrained and available sites could be used more effectively (for example converting space above shops)*

6.15 Paragraph 127 states *Local planning authorities should also take a positive approach to applications for alternative uses of land which is currently developed but not allocated for a specific purpose in plans, where this would help meet identified needs. In particular, they should support proposals to:*

- a) *use retail and employment land for homes in areas of high housing demand, provided this would not undermine the key economic sectors or sites or the vitality and viability of town centres, and would be compatible with other policies in this Framework*



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### **Achieving Appropriate Densities**

6.16 Paragraph 128 (d) - (e) states *planning decisions should support development that makes efficient use of land, taking into account:*

*d) the desirability of maintaining an area's prevailing character and setting (including residential gardens), or of promoting regeneration and change*

*e) the importance of securing well-designed, attractive and healthy places*

### **Achieving Well-Designed and Beautiful Places**

6.17 Paragraph 131 states *the creation of high quality buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.*

6.18 Paragraph 135 states that *planning decisions should ensure that developments:*

*a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;*

*b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;*

*c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);*

*d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;*

*e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks;*

6.19 Paragraph 139 states *significant weight should be given to:*

*a) development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes; and/or*



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- b) outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings*

### **The Development Plan**

- 6.20 The Development Plan comprises the Chichester Local Plan Key Policies 2014-2029 which provides the direction for decision-taking through the District of Chichester.
- 6.21 There is no made or emerging Neighbourhood Plan for East Wittering and Bracklesham at the time of writing.

### **Chichester Local Plan 2014-2029**

- 6.22 Policy 1 (Presumption in Favour of Sustainable Development) requires the Local Planning Authority (LPA) to take a positive approach to decision taking; working proactively with applicants jointly to find solutions which mean proposals can be approved wherever possible.
- 6.23 Policy 1 states that planning applications that accord with the policies in the Local Plan be approved, unless material considerations indicate otherwise.
- 6.24 Policy 33 (New Residential Development) requires a 7 point criteria against which development should accord with. This criteria comprises:
1. Proposals meet the highest standards of design;
  2. Adequate infrastructure and provision for its future maintenance is provided;
  3. Proposals provide for high quality linkage direct from the development to the broadband network;
  4. The proposal provides a high quality living environment in keeping with the character of the surrounding area and its setting in the landscape;
  5. The scheme provides an appropriate density of development. This will be determined by its immediate context, on-site constraints, the type of development proposed and the need to provide an appropriate mix of dwellings;
  6. The proposal respects and where possible enhances the character of the surrounding area and site, its setting in terms of its proportion, form, massing, siting, layout, density, height, size, scale, neighbouring and public amenity and detailed design;
  7. The proposal has taken into account the need to promote public safety and deter crime and disorder through careful layout, design and the use of Secured by Design principles and standards.



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6.25 Policy 39 (Transport, Accessibility and Parking) requires a 7 point criteria against which development should accord with. This criteria comprises:

1. All development provides for the access and transport demands they create, through provision of necessary improvements to transport networks, services and facilities, either directly by the developer or indirectly in the form of financial contributions;
2. Development is located and designed to minimise additional traffic generation and movement, and should not create or add to problems of safety, congestion, air pollution, or other damage to the environment;
3. The proposal has safe and adequate means of access and internal circulation/turning arrangements for all modes of transport relevant to the proposal;
4. The proposal encourages development that can be accessed by sustainable modes of transport, in part, through the creation of links between new development and existing pedestrian, cycle and public transport networks;
5. The proposal provides for safe, easy and direct movement for those with mobility difficulties;
6. The proposal does not create residual cumulative impacts which are severe; and
7. Proposals provide for high quality linkage direct from the development to the broadband network

6.26 Policy 42 (Flood Risk and Water Management) requires flood and erosion risk will be taken into account at all stages in the planning process to avoid inappropriate development in areas at current or future risk, and to direct development away from areas of highest risk.

## **7. Assessment of Proposed Development**

### **Principle of Development**

- 7.1 The application proposes the *hip to gable extension, loft conversion with rear dormer and rooflights. Front single storey extension, fenestration alterations and reconfiguration layout* at 12 Russell Road, East Wittering, PO20 8EF.
- 7.2 The application site comprises an existing residential dwelling and the proposed development comprises the construction of extension works to an existing residential dwelling within an existing lawful residential curtilage.

- 7.3 Policy 33 supports proposals for new residential development, subject to accordance with the detailed criteria which is set out in full in the subsequent sections of this Planning, Design and Access Statement.
- 7.4 Subject to accordance with the relevant criteria contained within Policy 33 of the Local Plan, it is considered that the principle of development is acceptable.

**Design & Visual Amenity**



*Proposed Front and Rear Elevations*

- 7.5 Policy 33 (New Residential Development) (CLP) requires buildings to meet the highest standards of design by ensuring the proposal respects the character of the surrounding area and site, its setting in terms of proportion, form, massing, siting, layout, density, height, size, scale, neighbouring and public amenity and detailed design.

*Front Single Storey Gable End Extension*

- 7.6 The proposed development seeks a single storey hipped extension to the front elevation of the dwelling. The footprint of the extension mirrors that of neighbouring properties which have been extended forward of their primary elevations with protruding hipped and gable extensions.
- 7.7 The ridge height of the front hip extension falls significantly below the existing ridge height of the main house ensuring that a visual hierarchy and subservience is achieved between the original and latter additions to the main dwelling.
- 7.8 Combined with the hip to gable roof extension (detailed further below), the single storey front extension will achieve a central position in the primary elevation of the dwelling which will ensure a visual entrance point to the dwelling is achieved.



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- 7.9 Owing to the outer dimensions of the extension, combined with the hip to gable roof extension, a balanced visual appearance will be created which accords with nearby neighbouring properties within the nearby area.
- 7.10 The single storey front extension will still maintain a substantial set back from Russell Road which will retain the characteristic open, wide and expansive character to the site; which characterises the wider overall character of the area.
- 7.11 On the basis of the above, the development will not result in any adverse impacts upon the wider character of the area or public amenity and will comprise high quality design.

*Hip to Gable End Side Extension (Roof)*

- 7.12 The proposed development seeks the hip to gable end extension of the side portion of the existing roofline to infill a gap in airspace to better utilise the internal living accommodation of the property.
- 7.13 The existing hipped roofline does not comprise a defining characteristic of the Russell Road locality and, owing to the significant setbacks of properties from Russell Road, it is not visually appreciable from within the immediate nor wider locality.
- 7.14 The proposed hipped to gable end infill extension to the roof line will still retain a visual and physical gap between the application building and the neighbouring detached property; ensuring the visual gap between the properties is retained.
- 7.15 A proposed flush fitting velux rooflight is proposed to be inserted in this aspect of the primary roof pitch which is consistent with neighbouring properties within the nearby locality.
- 7.16 On the basis of the above, the development will not result in any impacts upon the defining characteristics of the locality and will retain the defining gap between the detached neighbouring property.

*Rear Flat Roof Dormer Window*

- 7.17 The application proposes the insertion of a flat roof dormer in the rear roof pitch of the main dwelling which will be finished in a combination of horizontal cladding and glazing.



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- 7.18 The dormer window dimensions fall within the silhouette of the main dwelling which ensures that there is a subservience and hierarchy in the visual appearance of the rear dwelling.
- 7.19 The rear dormer will appear as a minor addition to the rear elevation of the dwelling and would be well within permitted development rights, save for the requirement for the hip to gable extension required to facilitate the development. Notwithstanding this nuance, the resultant development mirrors that which is typically achieved under permitted development rights to similar properties within this locality.
- 7.20 As a result of the culmination of the above factors, the proposed development will not adversely affect the established characteristics of the site and surrounding area.
- 7.21 Therefore, the proposed development will ensure that the scale, siting, design and materials would remain unchanged in accordance with the character of the area in accordance with Policy 33 of the Chichester Local Plan.
- 7.22 Whilst it has been demonstrated that the development would not conflict with the existing established character of the area, should the Local Planning Authority conclude differently on this matter, the applicants wish to raise the fact that paragraph 139(b) of the National Planning Policy Framework 2023 makes clear that:
- Significant weight should be given to outstanding or innovative designs which promote high levels of sustainability, or help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings*
- 7.23 Therefore, to trigger the *significant weight* as prescribed by paragraph 139(b) of the Framework, the proposed development just needs to demonstrate that it fits in with the overall form and layout of their surroundings.
- 7.24 Owing to the contents of this section of this Planning, Design and Access Statement, the applicants consider that the development would fit in with the overall form and layout of their surroundings.
- 7.25 Through the use of a high quality materials palette and progressive architectural appearance, it can only be concluded that the development would help raise the standard of design more generally in the area.
- 7.26 On the basis of the above, we consider that the *significant weight* prescribed in paragraph 139(b) of the Framework is triggered and is overriding, should the Local



Planning Authority consider the development does not wholly accord with the contents of Policy 33 of the Chichester Local Plan.

### **Neighbouring Amenity**



*Location of Proposed Development in Respect of Neighbouring Properties*

- 7.27 Policy 33 (New Residential Development) (CLP) requires development to provide for a high quality living environment.
- 7.28 The application site comprises two neighbouring dwellings where one is detached to the north and the other is attached to the south.
- 7.29 The proposed hip to gable roof extension does not impact upon the detached neighbour to the north and does not impact upon the neighbour to the south.
- 7.30 The proposed rear flat roofed dormer window is akin to similar forms of development that are typically permitted across the country under landowner's permitted development rights. Therefore, the extent of intervisibility created by the provision of the rear dormer window is considered to be entirely acceptable and commonplace of suburban locations.
- 7.31 The proposed front single storey extension is single storey in nature and benefits from a dual pitched hipped roof, which provides access to light for the neighbouring properties, ensuring no overshadowing impacts result.

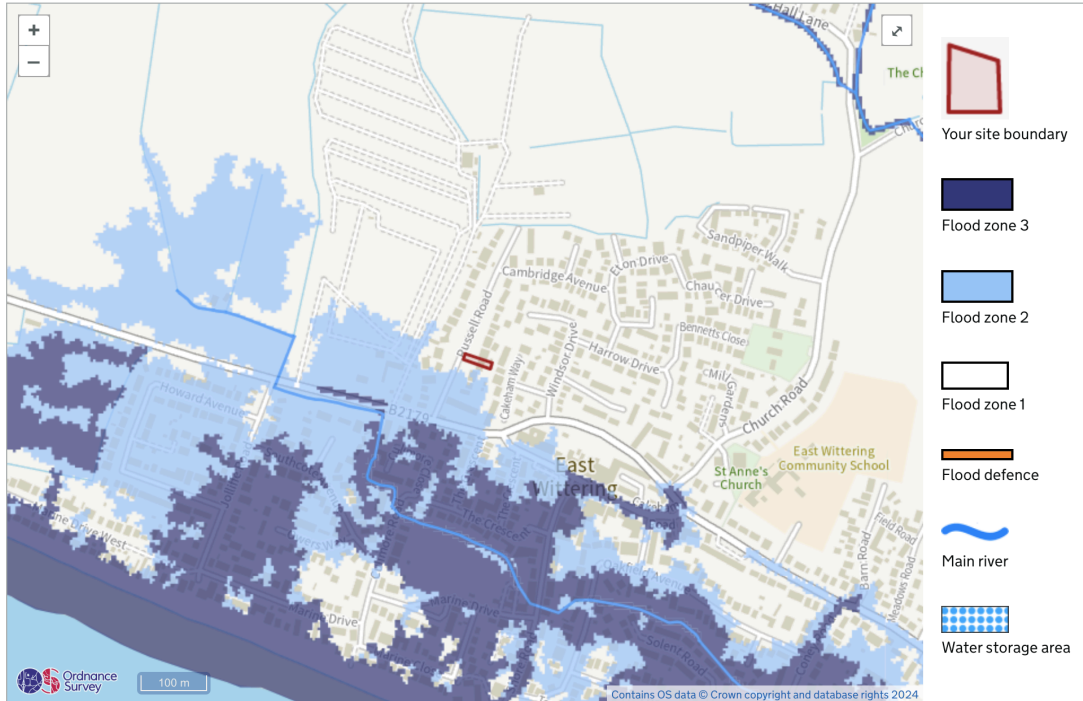


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- 7.32 Despite the fact that the design of the front single storey extension does not result in overshadowing impacts, the primary usable amenity space of neighbouring dwellings is located to the rear of the properties.
- 7.33 The front amenity space is considered to be of low usable quality, given the exposure and wider visibility of these areas from public viewpoints along Russell Road.
- 7.34 On the basis of the above, no demonstrable impacts would result on the neighbouring occupants surrounding the property, in accordance with Policy 33 of the Chichester Local Plan.

### **Transport, Accessibility and Parking**

- 7.35 Policy 39 (Transport, Accessibility and Parking) requires all development to provide for the access and transport demands they create.
- 7.36 All parking is undertaken through the combination of off-road parking to the side of the main dwelling and utilisation of the existing garage and tandem parking featured forward of the garage.
- 7.37 The application site falls within Parking Zone 1 as identified by the West Sussex County Council Guidance on Parking at New Developments (September 2020). For dwellings comprising 3 rooms a requirement for 2.2 spaces is required.
- 7.38 The proposed development will provide for in excess of sufficient off-street parking spaces forward of the main dwelling, as per the existing arrangement.
- 7.39 The applicants can expressly confirm that secure cycle parking provision will be provided and are content for the Local Planning Authority to impose an appropriately worded condition to secure details for consideration at subsequent discharge of condition stage.
- 7.40 On the basis of the above, the development would provide for the transport and parking demands created, in accordance with Policy 39 of the Chichester Local Plan and West Sussex County Council guidance.

## Flood Risk



*Extract from the Environment Agency's Flood Map for Planning*

- 7.41 Policy 42 (Flood Risk and Water Management) requires flood and erosion risk to be taken into account at all stages in the planning process to avoid inappropriate development in areas at current or future risk, and to direct development away from areas of highest risk.
- 7.42 The application site falls within Flood Zone 1 (i.e. the lowest probability of flooding) from both tidal and fluvial sources.
- 7.43 Based upon the above classification, no further flood mitigation measures are required.
- 7.44 Taking the above factors into account, it is considered that the proposal therefore accords with Policy 42 (Flood Risk and Water Management) of the Chichester Local Plan.

### **Other Material Considerations - The National Planning Policy Framework (December 2023)**

- 7.45 This Planning, Design and Access Statement confirms that the development wholly accords with the policies contained within the Development Plan. In accordance



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with S38(6) of the Planning and Compulsory Purchase Act, the decision takers therefore need not balance this out with other material considerations, given the overall compliance with the policies contained within the Development Plan.

7.46 However, should the Local Planning Authority conclude differently, the decision taker is therefore required to balance any non-compliance with the policies contained within the Development Plan with *other material considerations*.

7.47 Paragraph 224 of the National Planning Policy Framework makes clear that *the policies in [the] Framework are material considerations which should be taken into account in dealing with applications*.

7.48 Paragraph 139(b) of the National Planning Policy Framework confirms that:

*Significant weight should be given to (b) outstanding or innovative designs which promote high levels of sustainability, or **help raise the standard of design more generally in an area, so long as they fit in with the overall form and layout of their surroundings**.*

(Applicant emphasis added)

7.49 The term *significant weight* features only four times in the totality of the 78 page National Planning Policy Framework. The sole time *significant weight* is mentioned in respect of the design is in relation to developments that help raise the standard of design more generally in an area.

7.50 To indicate the overriding nature the term *significant weight* triggers, it can only be outweighed by significant harm which is of an overriding nature.

7.51 In this case, it has been demonstrated that the development would accord with the established character of the area meaning a neutral assessment when assessing the development against the policies contained within the Development Plan.

7.52 However, this neutral assessment then increases to significant weight in favour of the development proposal owing to the fact the proposed development will help raise the standard of design more generally in the area.

7.53 The redevelopment of this site to a high quality development, as evidenced within the supporting CGI images, should be overriding in nature, given the requirement to give such proposals *significant weight*.

7.54 Whilst we consider the proposals wholly accord with the policies contained within the Development Plan, in line with S38(6) of the Planning and Compulsory Purchase



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Act, should the Local Planning Authority conclude differently, then *significant weight* is required to be given to this proposal by paragraph 139(b) of the NPPF which, by virtue of its terminology, should outweigh any conflict with the Development Plan policies.

7.55 We therefore consider paragraph 139(b) of the Framework to be overriding in nature and is wholly supportive of development of this nature.

## **8. Conclusion**

8.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 (as amended) requires the determination of all planning applications to accord with the contents of the Local Plan, unless material considerations indicate otherwise.

8.2 This Planning Statement has demonstrated that the proposed development is fully in accordance with the policies contained within the Development Plan.

8.3 This Statement has not identified any material considerations that would warrant a decision other than in accordance with the policies contained within the Development Plan.

8.4 Taking these factors into account, the development therefore accords with both the contents of the Local Plan and all other material considerations. Applying the planning balance under S38(6) of the Planning and Compulsory Purchase Act 2004 (as amended), we therefore respectfully request this application is determined favourably.