

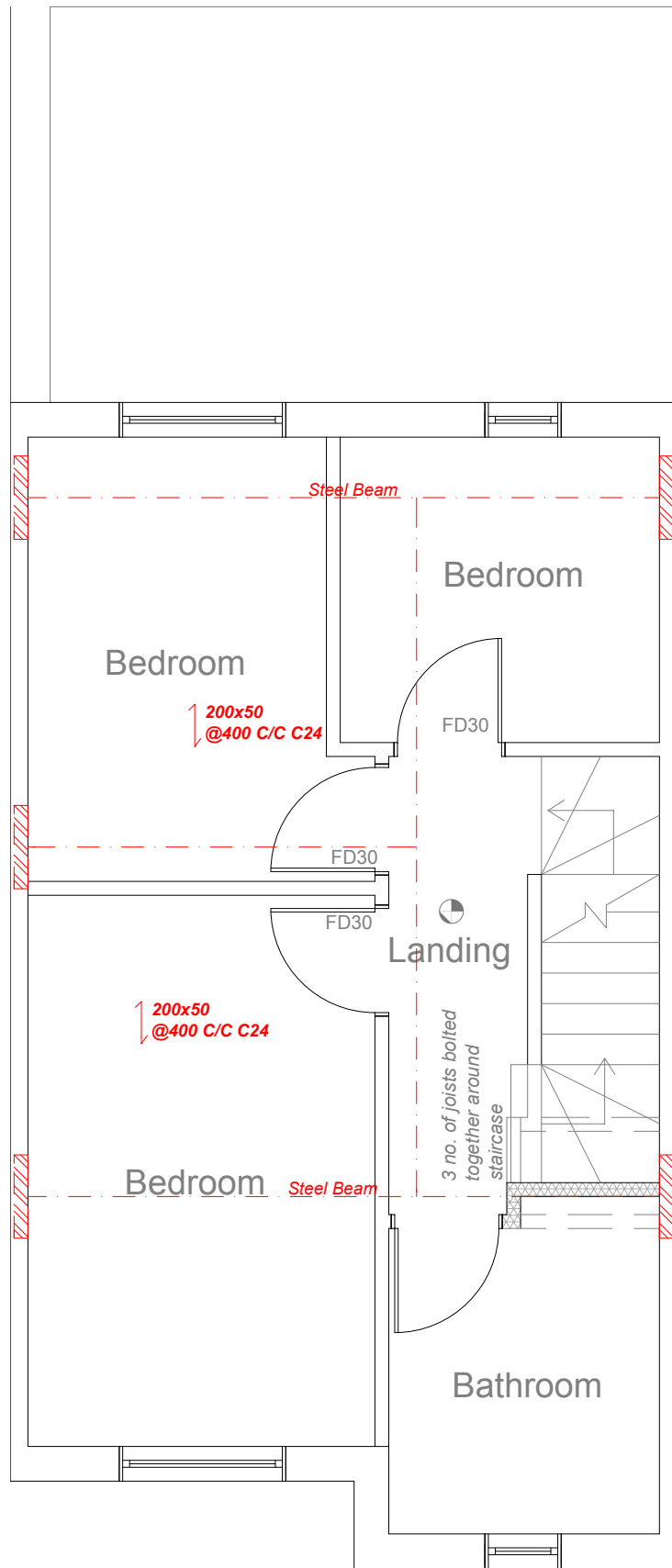
INTERNAL STUD PARTITIONS (within flat)

100mm x 50mm softwood treated timbers studs at 400mm ctrs with 50 x 100mm head and sole plates and solid intermediate horizontal noggins at 1/3 height or 450mm ctrs. Provide min10kg/m³ density acoustic soundproof quilt tightly packed (e.g. 100mm Rockwool or Isowool mineral fibre sound insulation) in all voids the full depth of the stud. Partitions built off doubled up joists where partitions run parallel or provide noggins where at right angles. Walls faced throughout with 12.5mm Gyproc FireLine board with skim plaster finish. Taped and jointed complete with beads and stops.

UPGRADING CAVITY PARTY WALL (cold adjoining space)

The existing party walls must be checked for stability and be free from defects as required by the Building Control Officer. Provide a scratch coat render to existing wall. Mechanically fix 62.5mm Celotex PL4000 insulated dry-lining board to 25 x 50 mm treated timber battens set at maximum 600mm centres on to existing wall and positioned horizontally at floor and ceiling level.

Fix using drywall screws or galvanised clout nails placed at 150mm centres. Tape joints and seal perimeter edges with mastic, to provide a vapour control layer (VCL). All work in accordance with BS 8212: 1995 (Code of practice for dry lining).

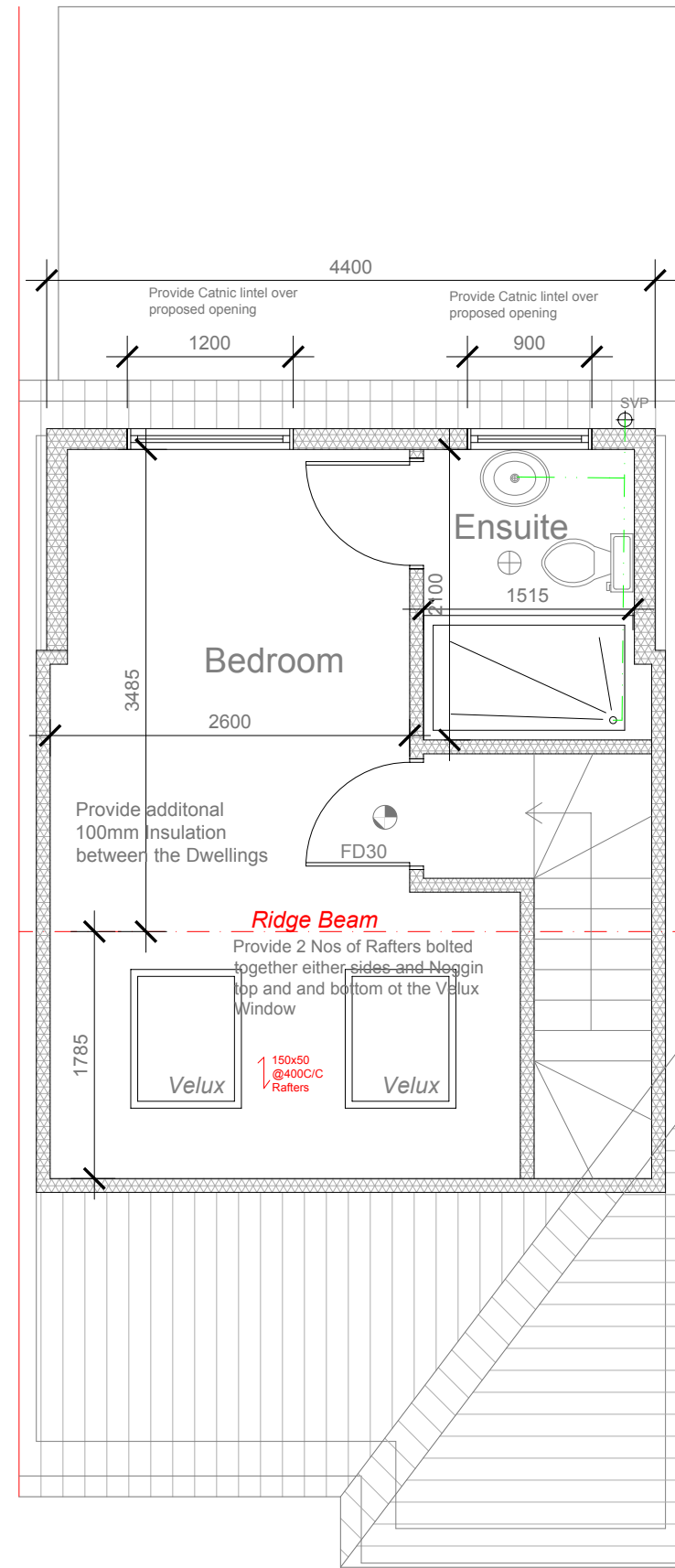


PROPOSED FIRST FLOOR PLAN
1:50

Dormer cheeks within 1m of the boundary to be lined externally with 12.5mm Supalux and 12.5mm fire line board internally to achieve 1/2 hour fire resistance from both sides. (Provide an additional 15mm pur insulation over studs to prevent cold bridging if required)

ROOF LIGHTS

Min U-value of 1.6 W/m²K. Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufactures instructions with rafters doubled up to sides and suitable flashings etc.



PROPOSED LOFT FLOOR PLAN
1:50

Proposed 150mm Insulated Dormer wall with Plasterboard internally and Tiles on Battern externally

Mechanical Vent
En Suite to have mechanical ventilation @ 15 litres per second
Proposed Drainage to be connected to the Existing System




IMPORTANT GENERAL NOTE

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING COMPLIANCE WITH THE CDM REGULATIONS, AND APPROPRIATE HEALTH & SAFETY ON SITE.

PROPOSED EXTERNAL FINISH MATERIALS TO MATCH EXISTING EXTERNAL FINISH MATERIALS.

TITLE	SCALE	DWG NO.	PROJECT	REVISION	DATE
Proposed Floor Plans	1/50@A3	069 - 03	7 Dean and Chapter Cottages Red Street Southfleet Gravesend DA13 9QG		04.2024



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