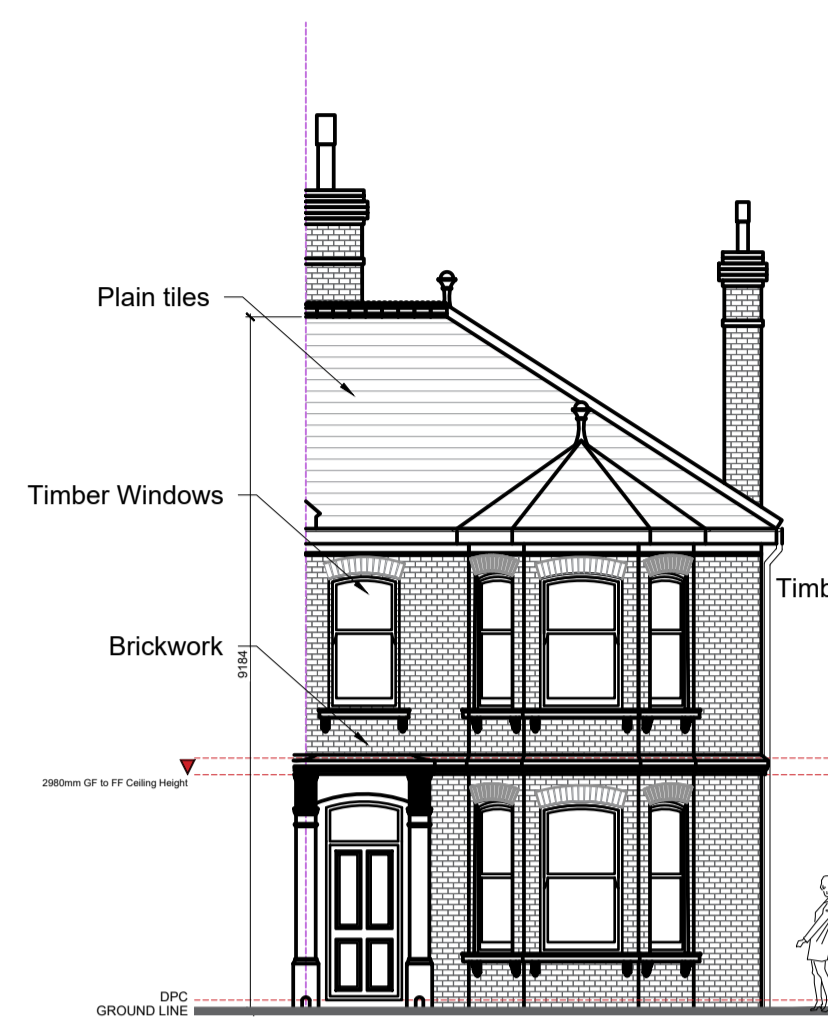
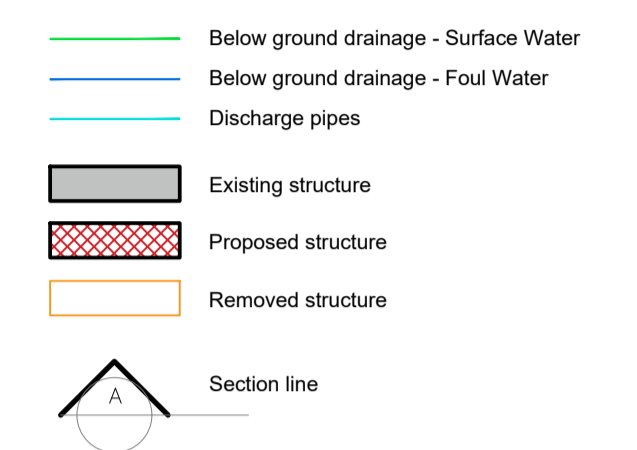


NOTE:
 This drawing is to be read in conjunction with the Construction Notes and Structural Engineer's details.
 The Contractor is responsible for all setting out and must check levels and dimensions on site before ordering materials or commencing work.
 Refer to written dimensions only. Do not scale from drawings, except for the purposes of Planning assessment.
 The Architect is to be immediately notified of any omissions or discrepancies.
 Building work should not commence until all statutory approvals have been granted, i.e. Planning, Building Control, etc.
 If a public sewer is discovered, consent to 'Build-over/Close-to' may be required from the Water Authority.

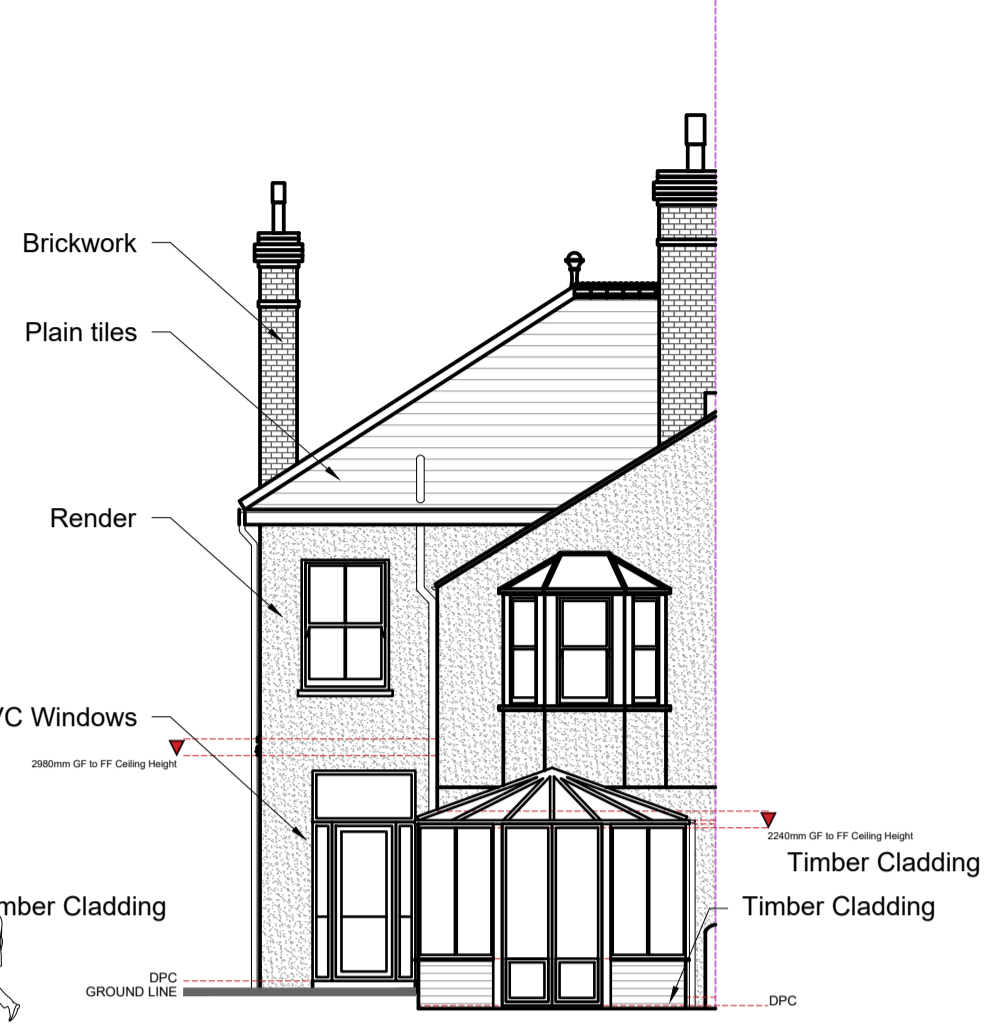
PARTY WALLS:
 Work to Party Walls (including insertion of flashings, beam bearings, etc) are subject to Party Wall agreements with neighbours and are to be arranged by the Client in accordance with the Party Wall Act (i.e. Providing two months written notice)



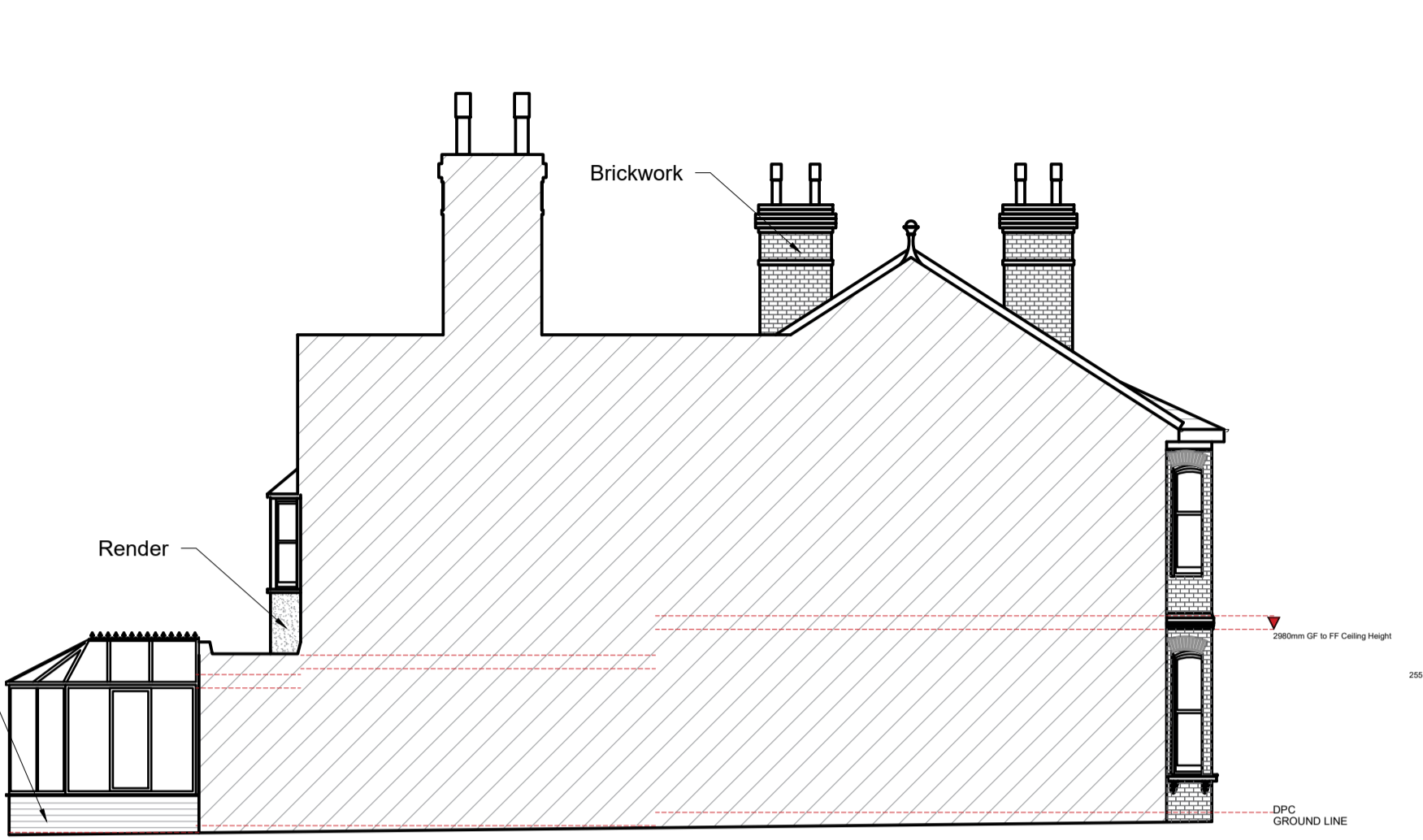
Existing East Elevation
 Scale: 1:100



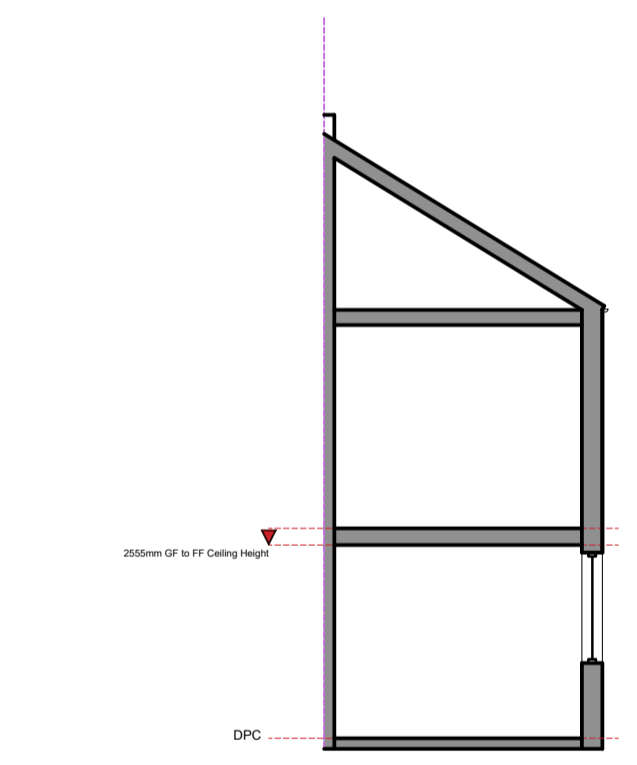
Existing North Elevation
 Scale: 1:100



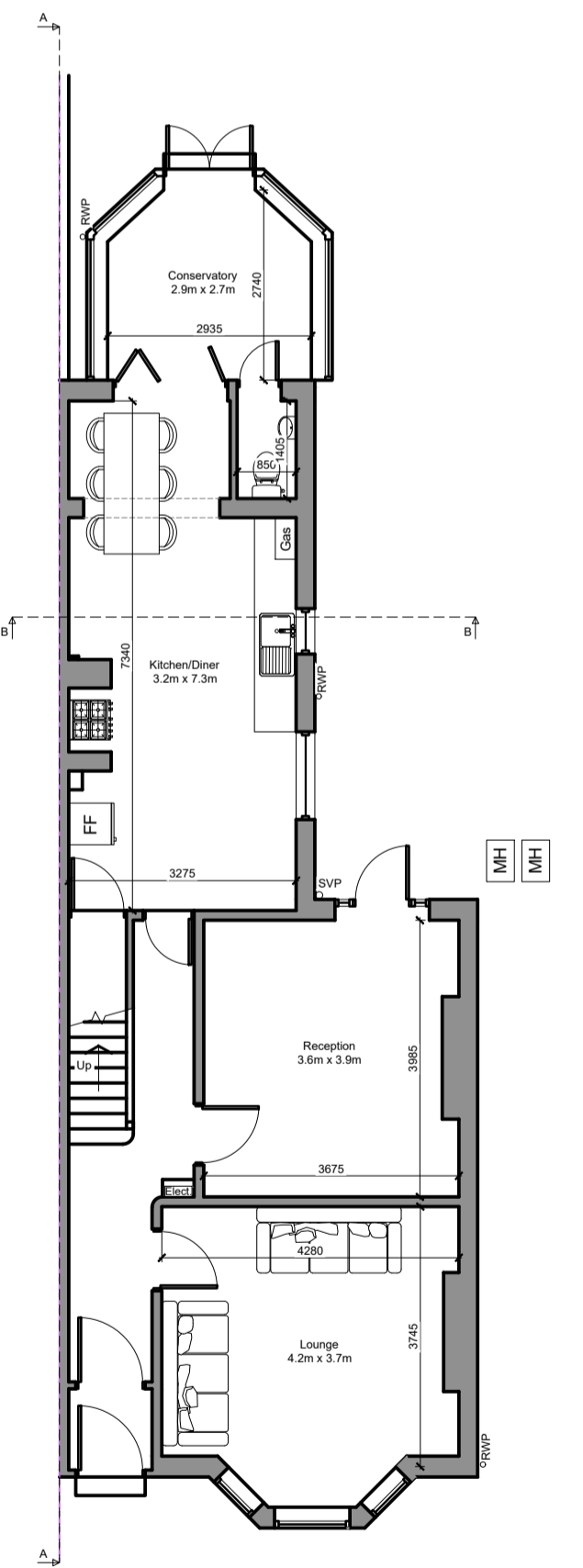
Existing West Elevation
 Scale: 1:100



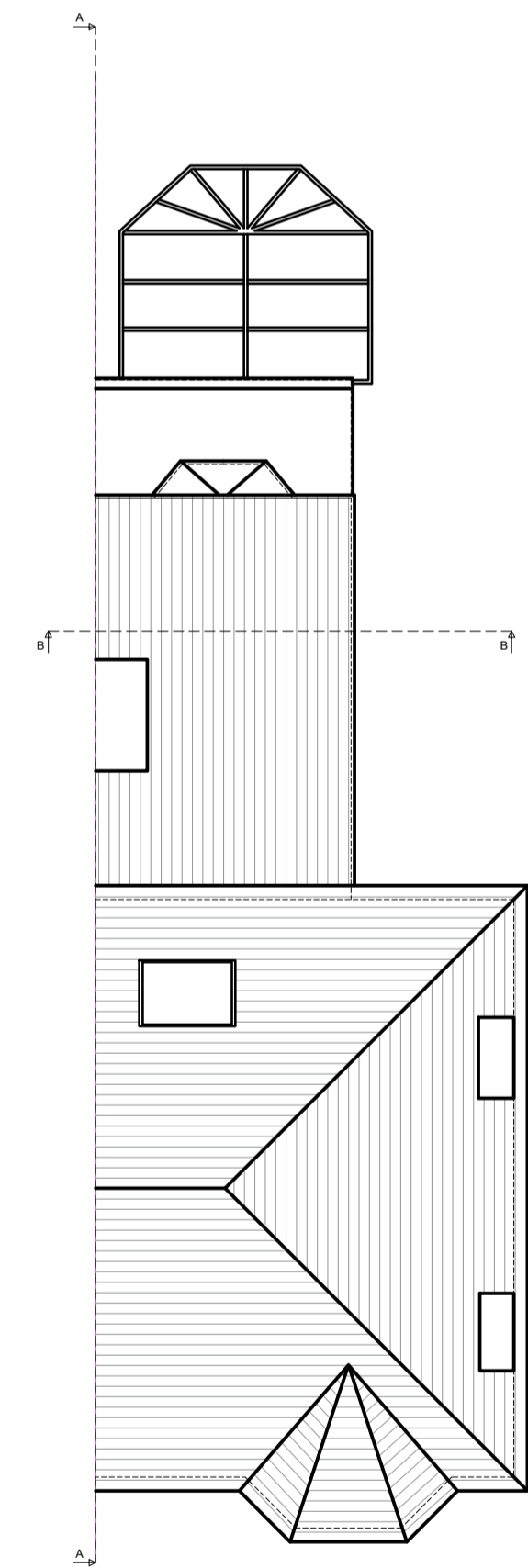
Existing South Elevation/Section A-A
 Scale: 1:100



Existing Section B-B
 Scale: 1:100



Existing Ground Floor Plan
 Scale: 1:100



Existing Roof Plan
 Scale: 1:100

SITE PHOTOS



Location Plan
 Scale: 1:1250



SITE AREA - 228.7m²
Block Plan
 Scale: 1:500

Revision	Date	Details	Initials
A	00/01/2024	Client / Planning Amendments	DLS

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PROJECT:
 56 Walsingham Rd, Hove
 BN3 4FF, East Sussex

DRAWING TITLE:
 Rear and Side Ground Floor
 Extension

DATE:	22/02/2024
SCALE:	Various @ A1
DRAWN:	SC
CHECKED:	DS
SHEET	OF

PROJECT NUMBER:	24/007	DRAWING NUMBER:	SY1	REVISION:	
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FOR APPROVAL