



**DESIGN RISK ASSESSMENT**  
A Design Risk Assessment (DRA) has been undertaken for this design project, with residual risks which remain. The Contractor and Client are advised to review and familiarise themselves with the H&S assessment provided and/or contained within this drawing.

**DRAINAGE SCHEME AS APPROVED UNDER APPLICATION 20/00063/MNR, DRAWING C500 REV P6.**

**General Conditions**

Builder/ Contractor must check all/ any dimensions and details for accuracy on site before commencement of works and any estimation. Any discrepancies are to be reported to the Architect/ Supervising Officer immediately. No works to be undertaken which encroaches on/ or affects adjoining properties without prior consent of Owner. Any work disturbing adjoining property (after consent) to be good as necessary. All structural timber to be treated with 'Protim' preservative and to carry grade stamp 'C24'.

Roof area to remain exactly the same, as approved under application 20/00063/MNR. Introduce RWP to side elevation.

Please see **treatment 1** adjacent, for proposed wall treatment details.

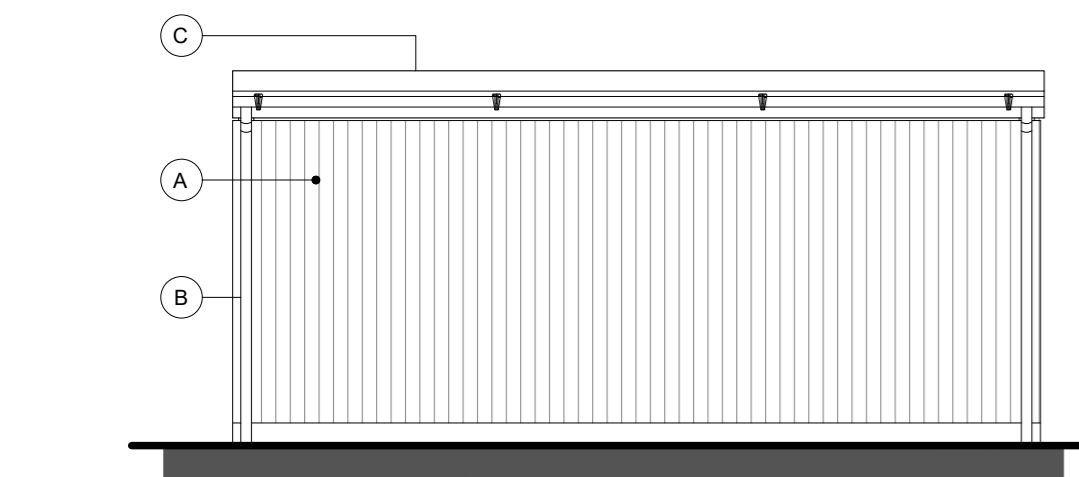
Denotes channel drainage provisions, to be installed to manufacturers recommendations.

**Turf/ Seeded Lawn** where required. Turf: Rowlan Medallion or approved similar. Seed: Germial Seed Houses A19 All-purpose landscaping Mix Sown @ 50g/m2 or approved similar. As approved under application 20/00063/MNR.

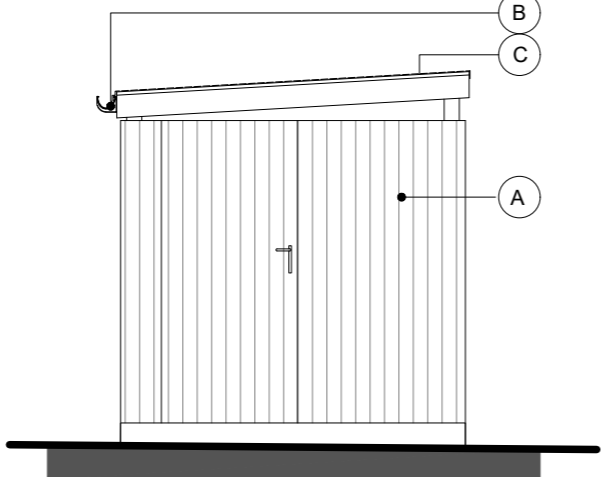
**Proposed ramped access to entrance door.** Covering to comprise concrete paving slabs (as approved under application 20/00063/MNR), with 0.9m high (from finished surface height) glazed guardings either side of ramp. Ramp landing to comprise the same covering (with 1:40 falls away from the building) and 1.1m high (from finished surface height) glazed guarding along the exposed edge.

Feather proposed tarmacadam into existing footpath.

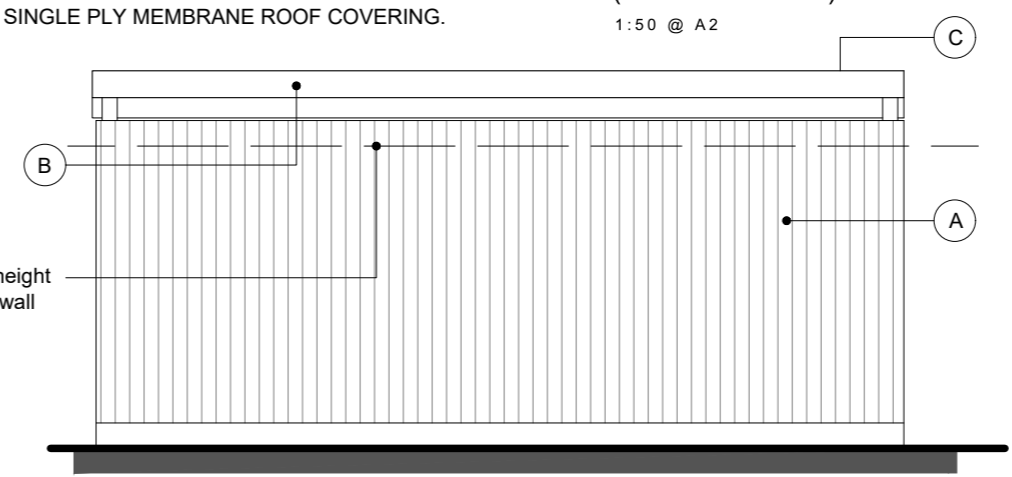
**Bold dashed line** denotes new concrete kerbing provisions, as approved under application 20/00063/MNR.



**PROPOSED CYCLE STORE SIDE ELEVATION (A)**  
1:50 @ A2



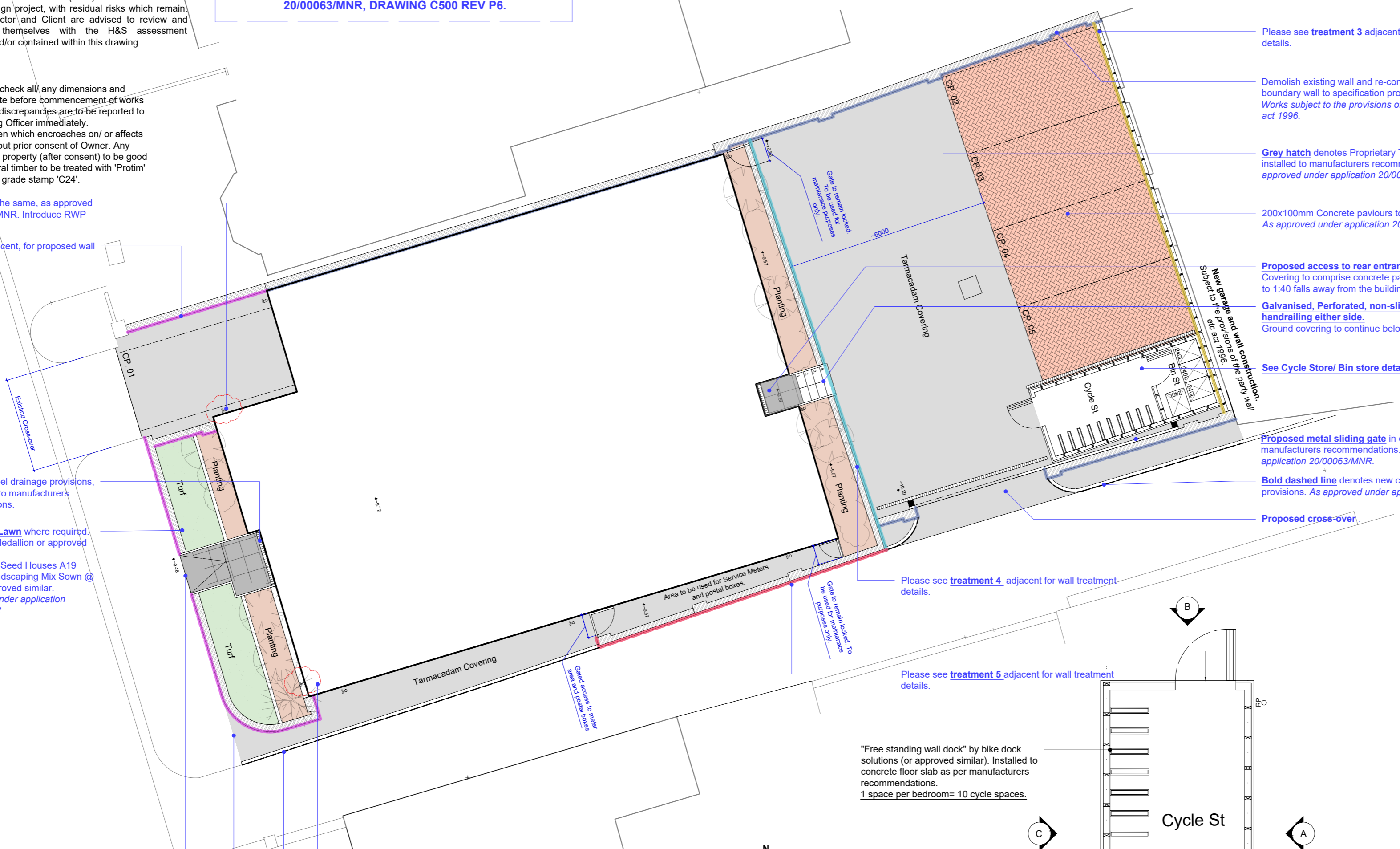
**PROPOSED CYCLE STORE SIDE ELEVATION (C)**  
1:50 @ A2



**PROPOSED CYCLE STORE SIDE ELEVATION (D)**  
1:50 @ A2

Denotes approximate height of proposed boundary wall adjoining lane.

CLIENT ROAD

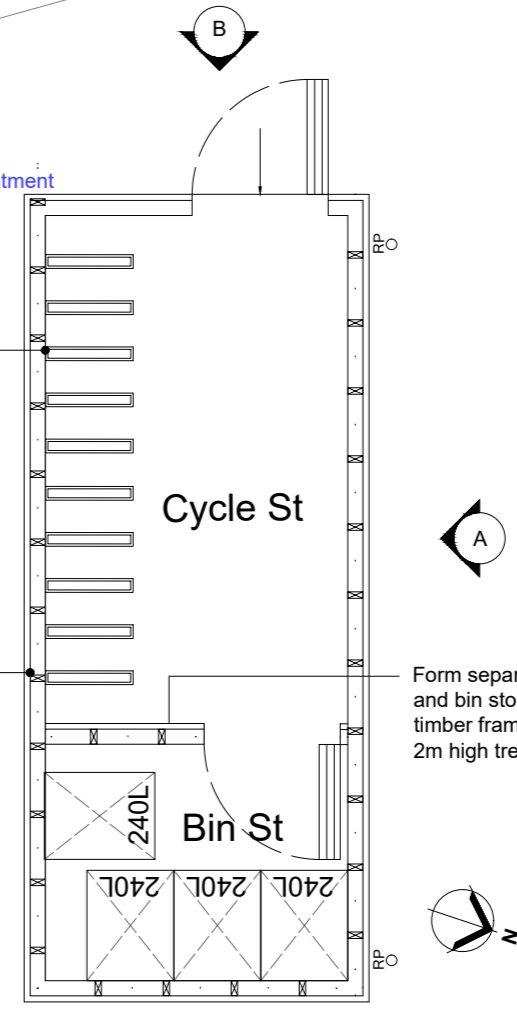


**PROPOSED SITE LOCATION PLAN**  
1:100 @ A2

**CYCLE STORE MATERIAL SPECIFICATION**

- A) TREATED TIMBER FRAMEWORK ATOP CONCRETE SLAB. COVERED WITH ~2M HIGH TREATED VERTICAL TIMBER CLADDING.
- B) UPVC/ ALUMINIUM FASCIA, SOFFIT AND GUTTER COMPONENTS WITH LEAF GUARDS. COLOUR TO MATCH MAIN BUILDING.
- C) SINGLE PLY MEMBRANE ROOF COVERING.

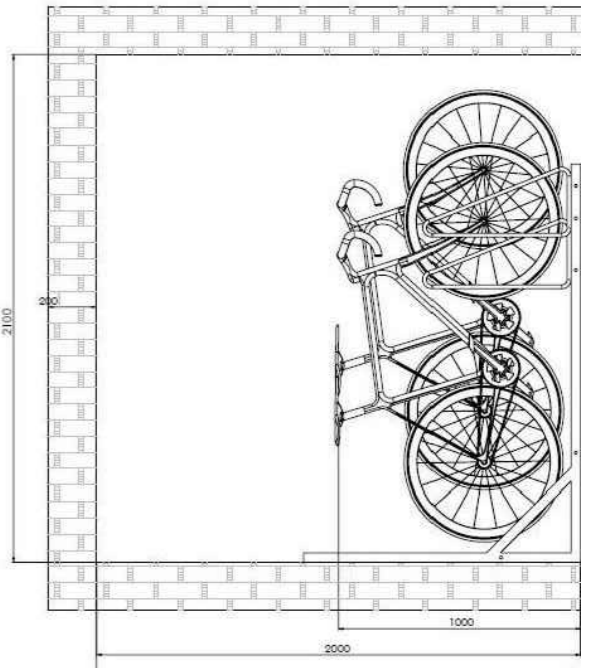
**PROPOSED CYCLE STOREY PLAN (LOCALISED)**  
1:50 @ A2



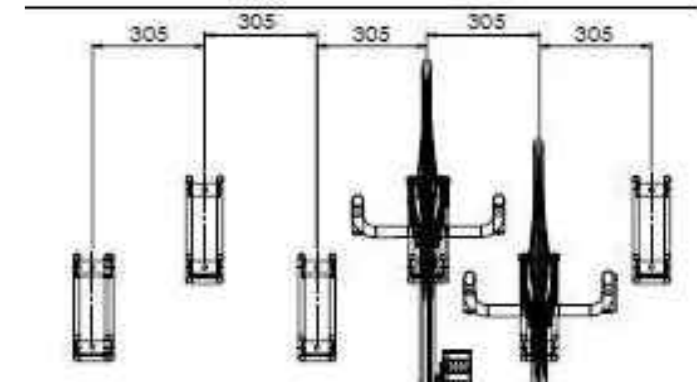
"Free standing wall dock" by bike dock solutions (or approved similar). Installed to concrete floor slab as per manufacturers recommendations. 1 space per bedroom= 10 cycle spaces.

Treated timber framework atop concrete slab. Covered with ~2m high treated vertical timber cladding.

Form separation between cycle and bin store using treated timber framework, covered with 2m high treated timber cladding.



**PROPOSED VERTICAL CYCLE STAND DETAILS -SECTION.**  
By Bike dock solutions.



**PROPOSED VERTICAL CYCLE STAND DETAILS -ELEVATION**  
By Bike dock solutions.

- Please see **treatment 3** adjacent for wall treatment details.
- Demolish existing wall and re-construct new boundary wall to specification provided. Works subject to the provisions of the Party wall etc act 1996.
- Grey hatch** denotes Proprietary Tarmacadam surfacing, installed to manufacturers recommendations. As approved under application 20/00063/MNR.
- 200x100mm Concrete paviours to delineate **parking bays**. As approved under application 20/00063/MNR.
- Proposed access to rear entrance door.** Covering to comprise concrete paving slabs, laid to 1:40 falls away from the building.
- Galvanised, Perforated, non-slip metal staircase with handrailing** either side. Ground covering to continue below.
- See **Cycle Store/ Bin store details** below.
- Proposed metal sliding gate** in dark grey, installed to manufacturers recommendations. As approved under application 20/00063/MNR.
- Bold dashed line** denotes new concrete kerbing provisions. As approved under application 20/00063/MNR.
- Proposed cross-over.**

**ENCLOSURE TREATMENT LEGEND**

- TREATMENT 1**  
0.9M HIGH (FROM STREET LEVEL) FACING BRICK WALL WITH INTERMEDIATE PIERS. COVERED WITH 300MMW CONCRETE COPING STONE.
- TREATMENT 2**  
CONCRETE BLOCK BOUNDARY WALL, HEIGHT NOT TO EXCEED 2M FROM PROPOSED DRIVEWAY LEVEL. FINISHED TO EXPOSED FACE(S) WITH THROUGH COLOUR RENDER, COVER WITH 300MMW CONCRETE COPING STONE.
- TREATMENT 3**  
TIMBER PRIVACY SCREEN, HEIGHT NOT TO EXCEED 2M FROM FINISHED GROUND LEVEL.
- TREATMENT 4**  
FACING BRICK WALL WITH INTERMEDIATE PIERS. WALL HEIGHT NOT TO EXCEED ~500MM FROM PROPOSED DRIVEWAY LEVEL. PROVIDE ~800MM HIGH METAL RAILINGS ABOVE.
- TREATMENT 5**  
FACING BRICK WALL WITH INTERMEDIATE PIERS. WALL HEIGHT NOT TO EXCEED ~950MM FROM LANE LEVEL. PROVIDE ~550MM HIGH METAL RAILINGS ABOVE. PLEASE SEE ELEVATION.. ON DRAWING D101.

<p>REVISION DATE COMMENTS</p>	
<p>CLIENT OAKLEIGH HOUSE DEVELOPMENTS LTD</p>	
<p>PROJECT 12 CLIVE ROAD, CANTON, CARDIFF, CF5 1HU</p>	
<p>DRAWING TITLE PROPOSED EXTERNAL WORKS AND CYCLE STORE DETAILS</p>	
<p>PROJECT NO. VAR- 1712</p>	
<p>DRAWING STATUS  <input type="checkbox"/> CLIENT APPROVAL           <input checked="" type="checkbox"/> PLANNING           <input type="checkbox"/> BUILDING CONTROL           <input type="checkbox"/> TENDER           <input type="checkbox"/> CONSTRUCTION       </p>	
<p>DRAWN/CHECKED 94/87</p>	<p>SCALE 1:100/ 1:50 @ A2</p>
<p>DATE APR24</p>	<p>REVISION D102</p>

**Varco**

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