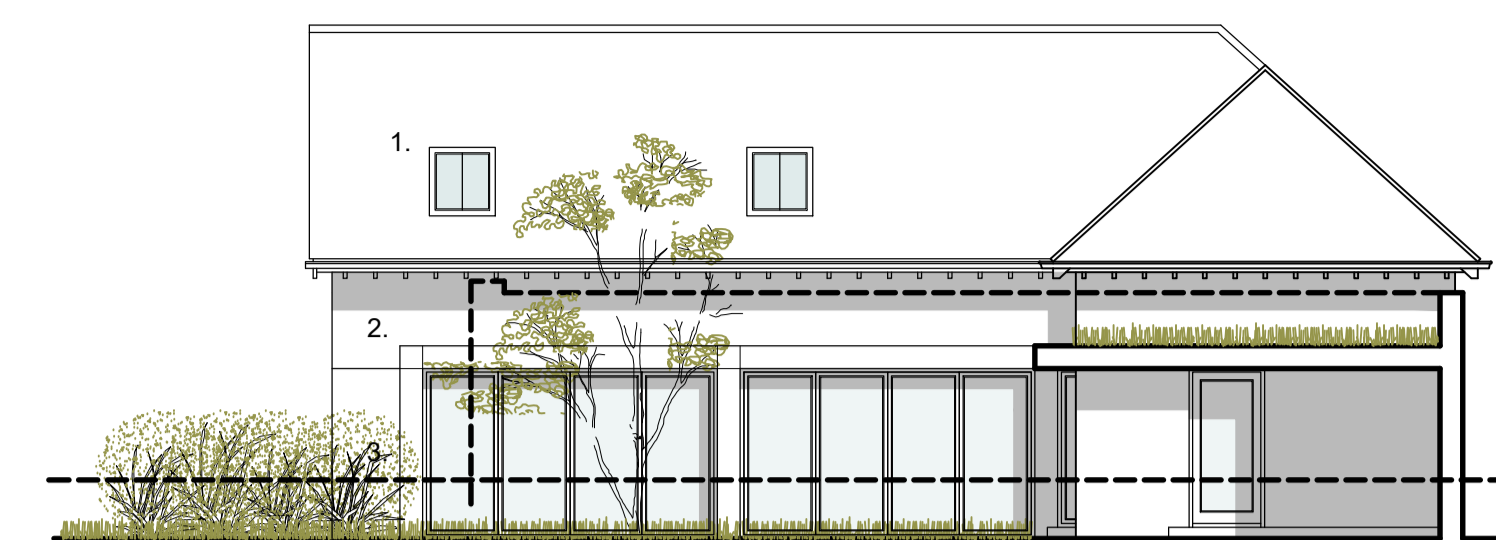


PROPOSED SIDE ELEVATION  
1:100

MATERIALS KEY:

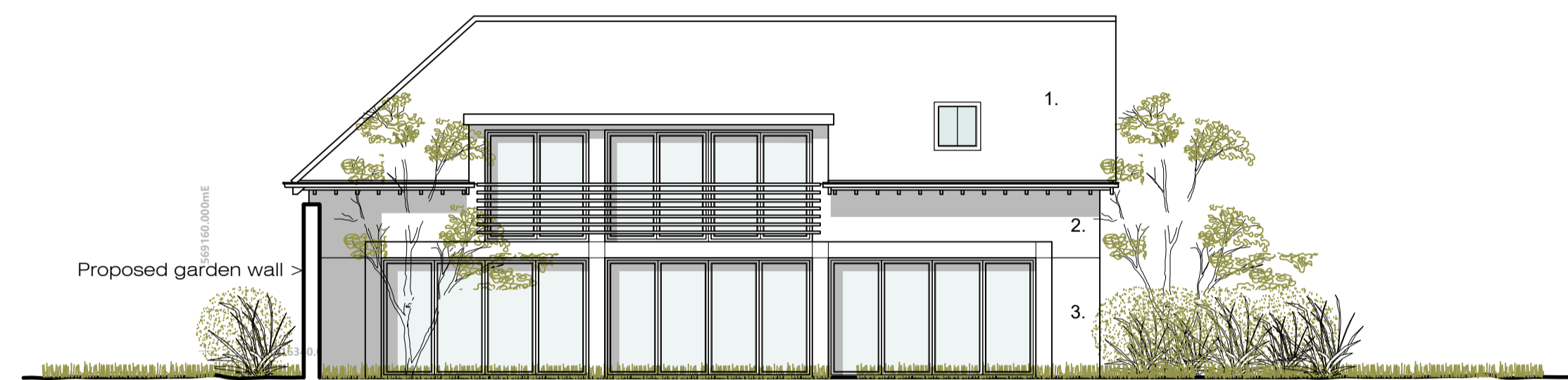
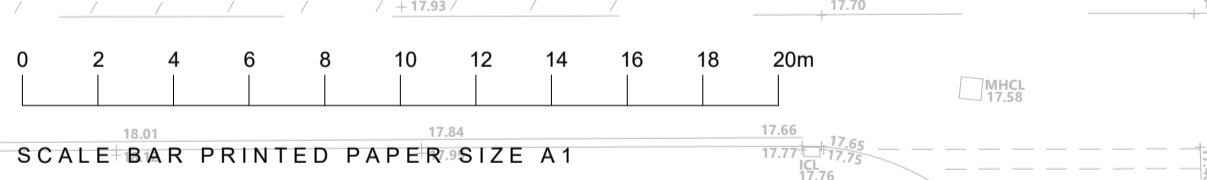
- 1. Slate Style.
  - 2. Timber Cladding Horizontal.
  - 3. Timber Cladding Vertical.
  - 4. Buff Brick.
- Windows and doors to be aluminium  
Rainwater goods to be zinc



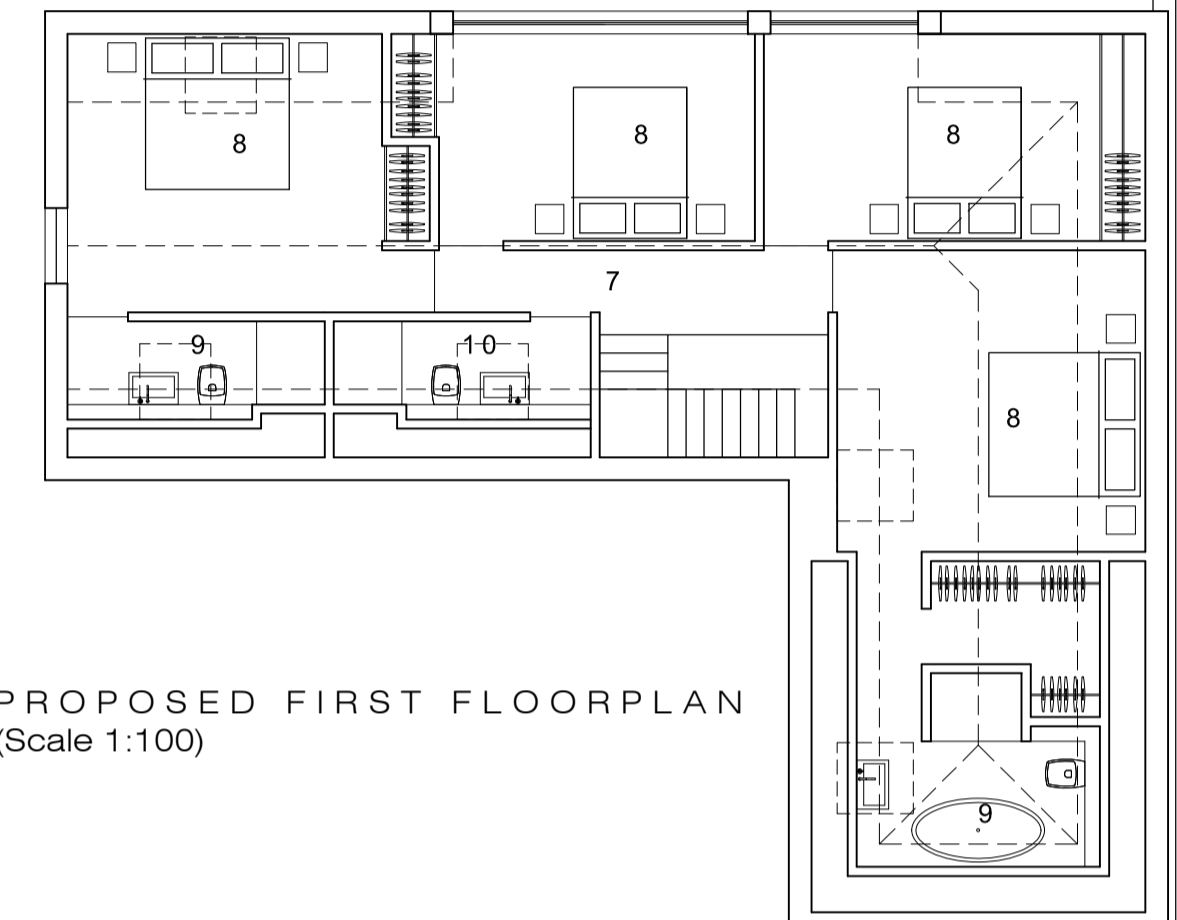
PROPOSED FRONT ELEVATION  
1:100



PROPOSED SITE LAYOUT (Scale 1:200 when printed at A1)



PROPOSED REAR ELEVATION  
1:100



PROPOSED FIRST FLOOR PLAN  
(Scale 1:100)

**DISCLAIMER:**  
Please report any discrepancies or omissions between the 'Designer' and any consultants drawings to the designer immediately. For all other purposes other than Planning applications submitted to Kings Lynn Borough Council, do not scale from Drawings. All dimensions to be checked by contractor on site prior to commencing any work. IF IN DOUBT ASK. Levels and dimensions of existing structures may be from various sources and may be inaccurate. Unless stated otherwise this drawing is for design intent purposes only and should not be used for any other purpose. The drawing is indicative of designers visual requirements.

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This drawing represents design intent only and should not be used for construction purposes without written notification from Atelier Associates or the Principal Designer. It is understood the client's intention is to appoint a Principal Contractor in order to discharge their obligations under CDM.

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CONSTRUCTION: All existing site and building dimensions to be confirmed by contractor prior to ordering of materials or commencement of work. Any variation or discrepancy to be brought to the designers attention immediately and formal instruction must be obtained prior to works commencing / continuing. This drawing must be read in conjunction with all Atelier Associates and other consultant drawings and documents - including but not limited to: - and revisions.  
Due to the nature and location of projects, construction materials are subject to approval from a number of parties. Materials may be subject to amendment.  
PLANNING: This drawing should be used for planning purposes only and should not be used for any other purpose.  
DISCUSSION: The content of this drawing is for discussion purposes only between agreed third parties and the information should not be relied upon for any other purpose.

**LOCATION PLANS:**  
These are downloaded from a third party source and do not represent a legal boundary for ownership or any other legal encumbrances. Location plans are to be used for identification purposes only for the sole purpose of obtaining planning permission.

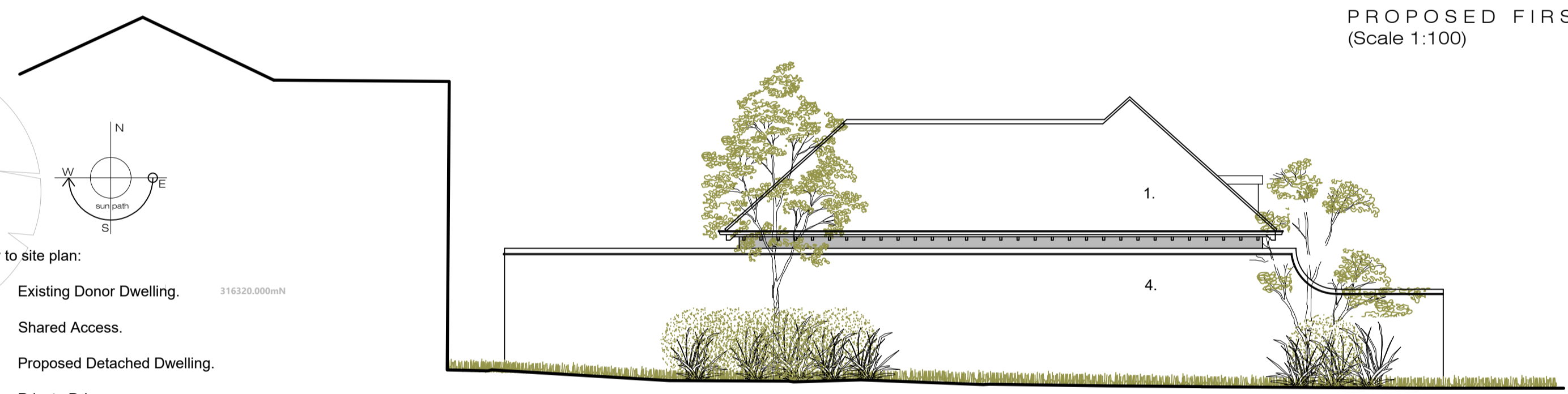
**REVISIONS:**  
Recycle all previous versions of this drawing and check with designer that you have the latest revision.

KEY TO FLOOR PLANS

- 1: Entrance Hall
- 2: WC
- 3: Utility
- 4: Lounge
- 5: Dining Room
- 6: Kitchen
- 7: Landing
- 8: Bedroom
- 9: En-suite
- 10: Bathroom

FLOOR AREAS:

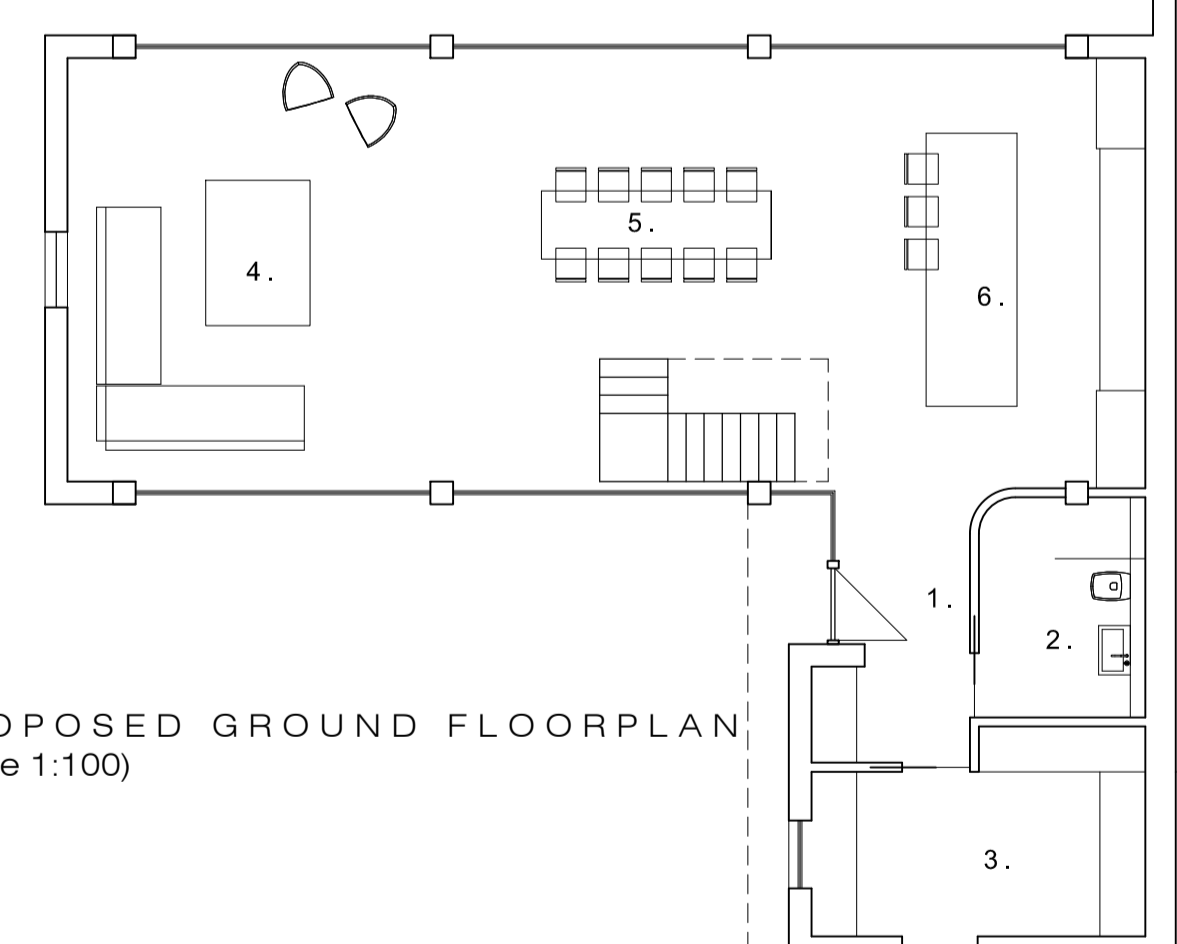
Existing:  
(to be demolished)  
Proposed:



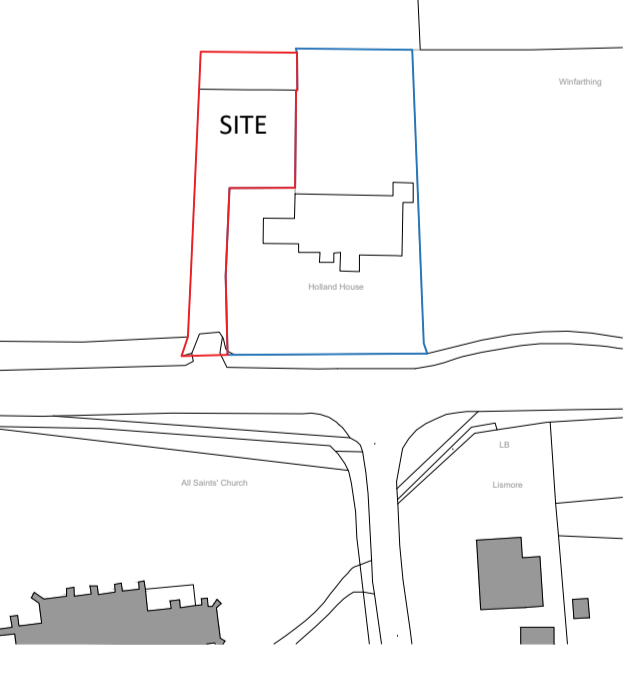
PROPOSED SIDE ELEVATION  
1:100

Key to site plan:

- 1: Existing Donor Dwelling.
- 2: Shared Access.
- 3: Proposed Detached Dwelling.
- 4: Private Drive.
- 5: Parking/Turning Area.
- 6: Private Patio Area.
- 7: Existing entrance widened to 5m to Allow two vehicles to pass as approval Ref:16/00645/O. Refer to Highway Consultant drawings.
- 8: Green Roof.



PROPOSED GROUND FLOOR PLAN  
(Scale 1:100)



LOCATION PLAN (Scale 1:1250)



PROPOSED SECTION  
1:100