

Design and Access Statement

Demolition of existing dilapidated garages and installation of
a shepherd hut to act as a rental unit
@ Lamorna Cove

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The Site

The site is adjacent to a private access road near Lamorna Cove.

The site is considered to be located in the countryside and in an area characterised by family dwellings.

The site is currently occupied by a pair of single-storey garage buildings. The site benefits from a vast undeveloped land surrounding it and overlooks Lamorna Valley.

The site is located within the Cornwall Area of Outstanding Natural Beauty.



Fig 01: View from the road onto the smaller garage



Fig 02: View from the road onto the bigger garage

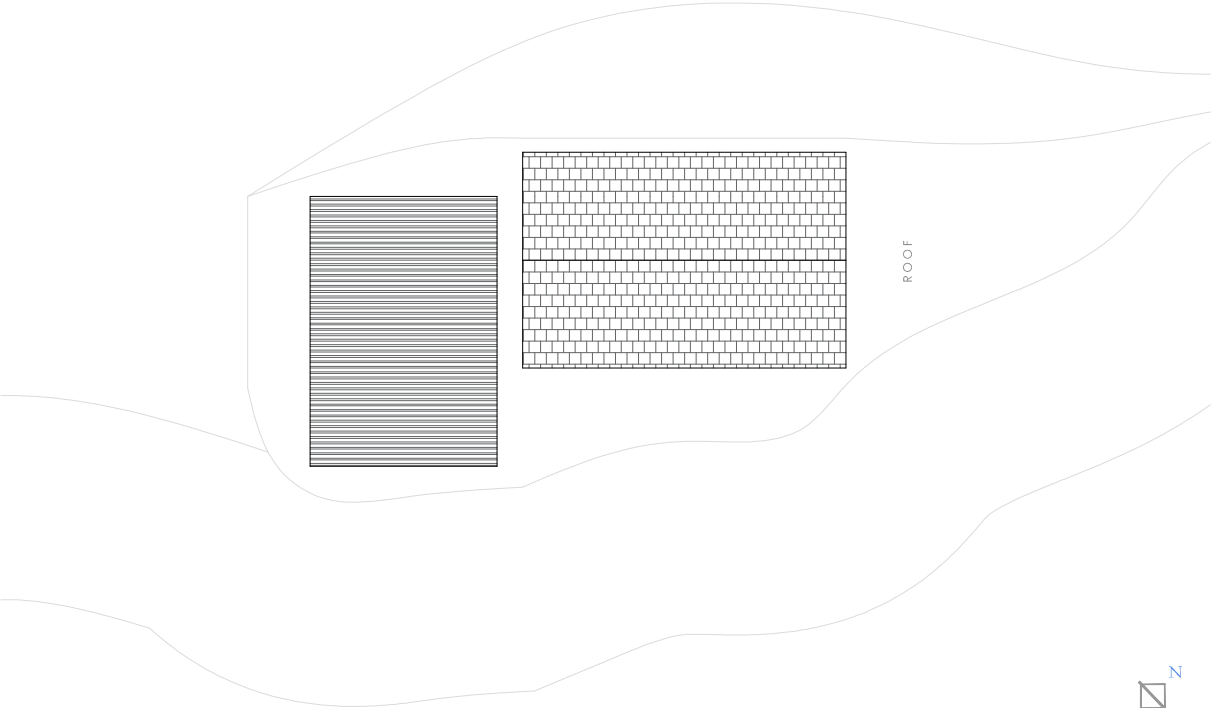
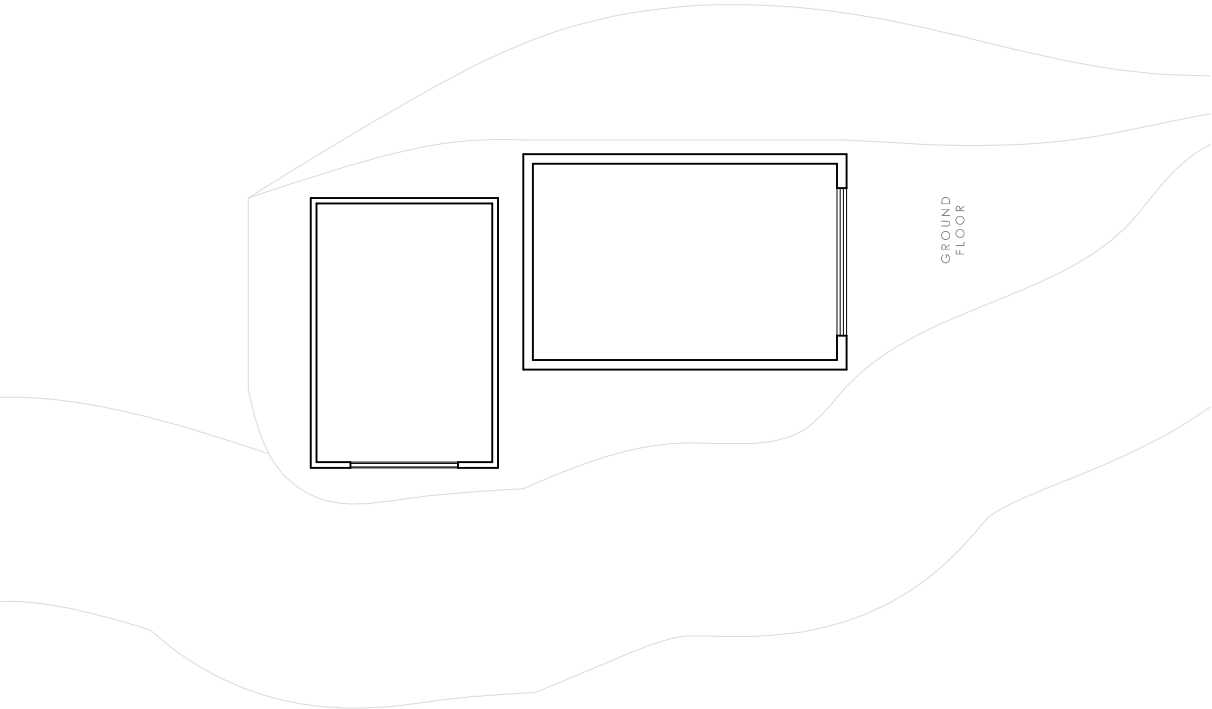


Fig 03: View from the side onto the bigger garage



Fig 04: View onto the scarp

Existing plans



The Site

Currently the site is occupied by a pair of single-storey garage buildings adjacent to the private access road near Lamorna Cove.

One of the garage buildings is constructed of concrete blockwork, the other, smaller garage is made out of timber and corrugated metal. Both buildings are currently disused and are in a really bad condition.

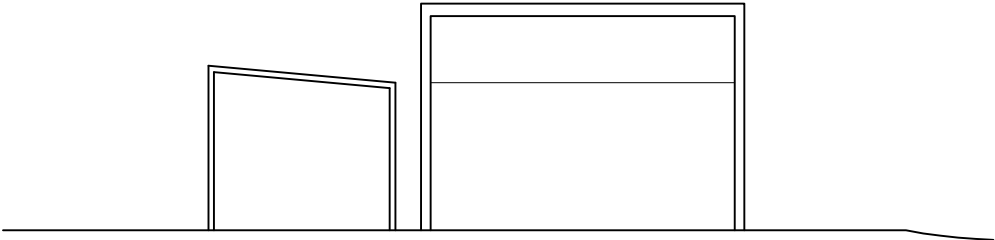
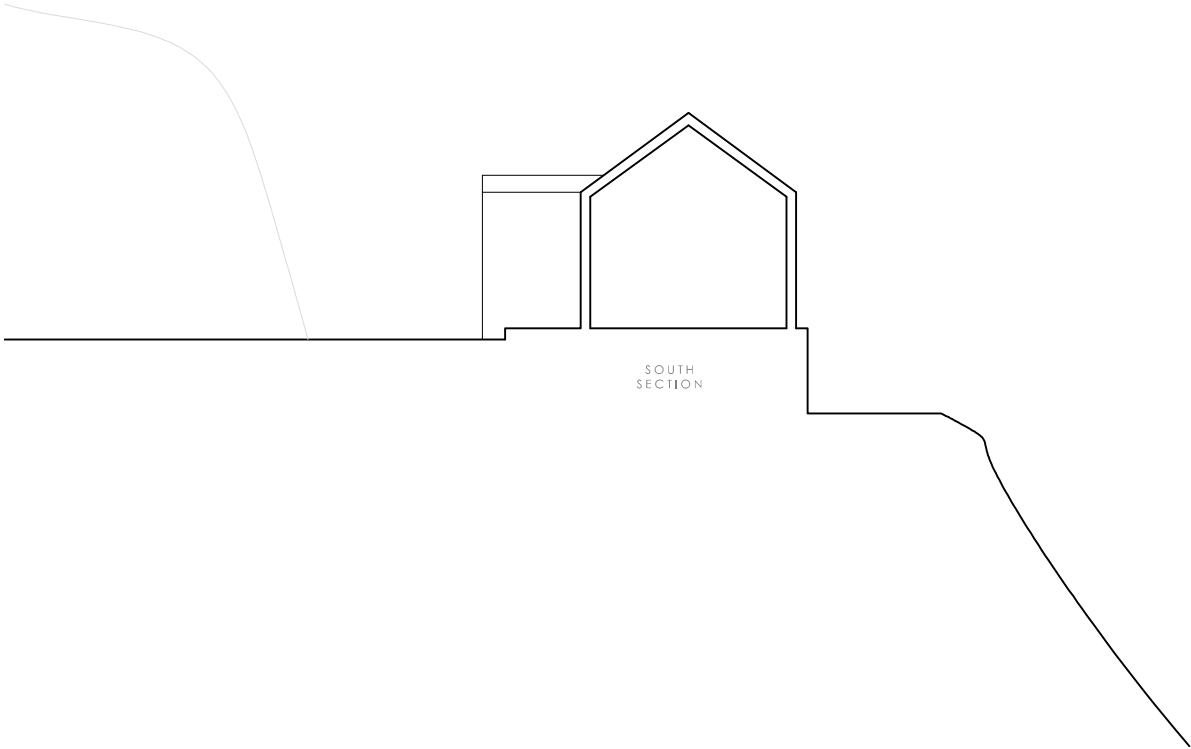
The plot is surrounded by dwellings of mostly residential character with more significant community facilities located further away at St Buryan and Newlyn.

The buildings along Lamorna Cove strongly vary in scale - from small bungalows to much larger, mostly two storeys high dwellings.

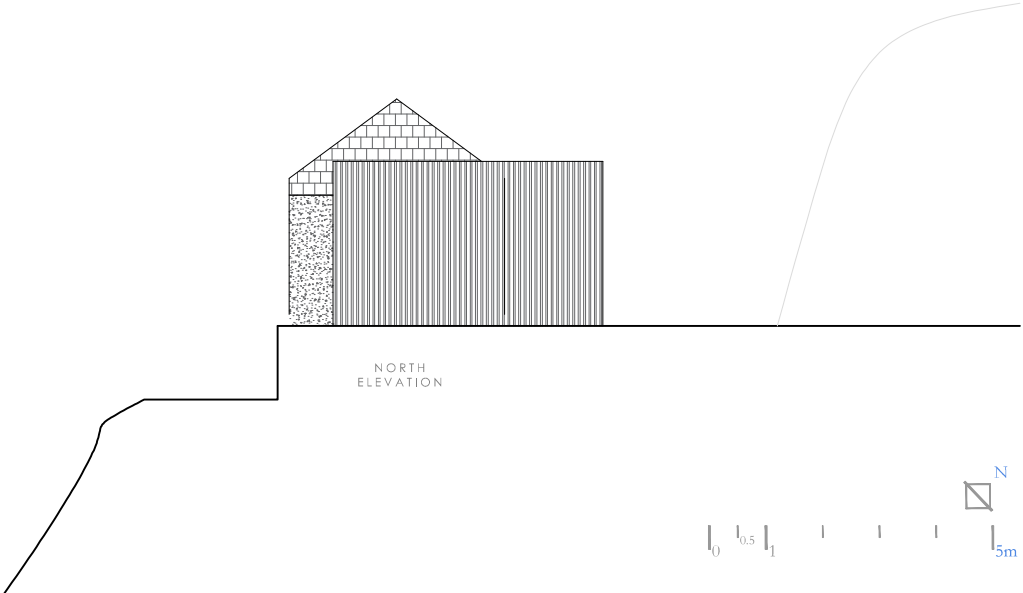
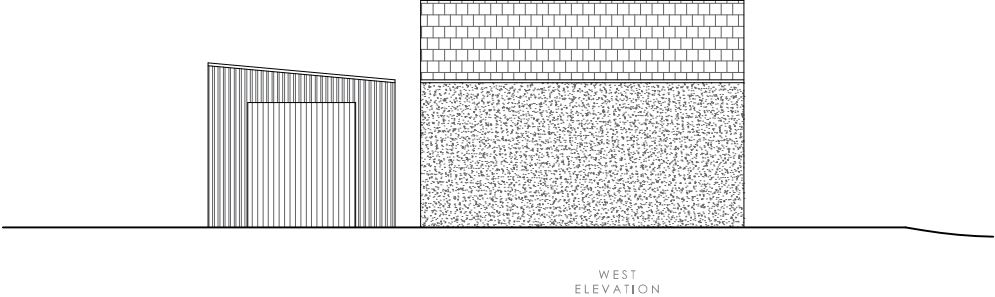
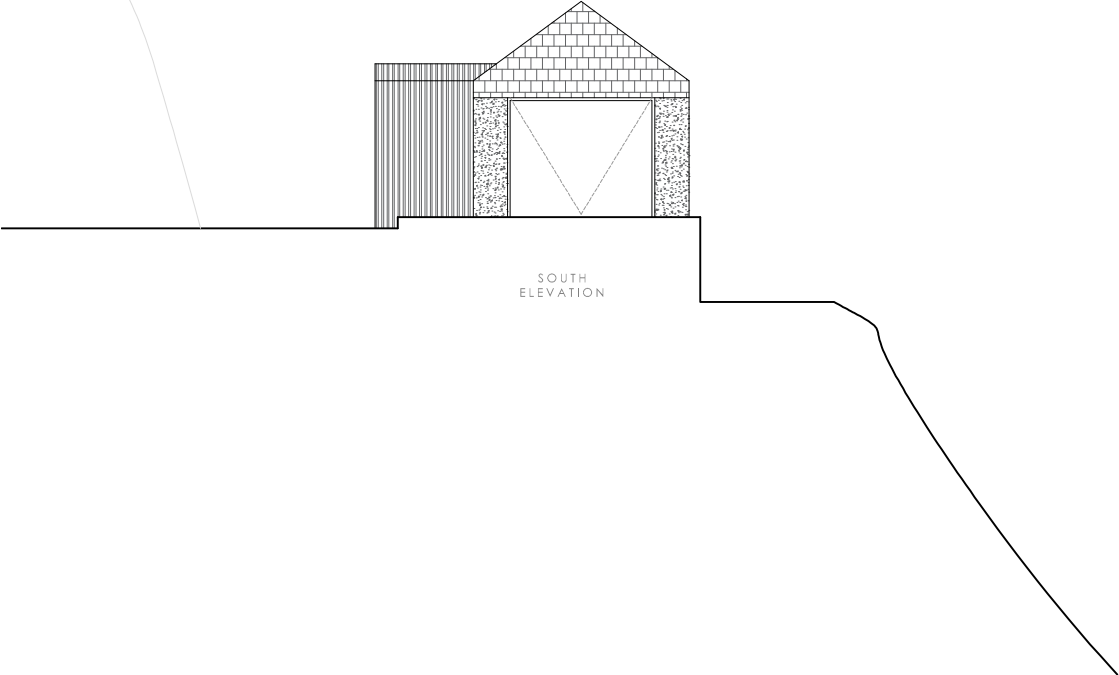
The surrounding developments have either a gabled or shed roof but apart from that they don't share many common denominators. The external finishes vary from natural stone and timber to render.

A substantial amount of surrounding properties have glazed conservatory extensions.

Existing sections



Existing elevations



Proposal

This planning submission is for the demolition of two existing single-storey garage buildings and installation of two connected shepherd huts for the purpose of holiday letting.

There is an existing concrete slab on site that would act as a base for the shepherd huts minimising the required work on site to just the demolition of the existing structures. The shepherd huts themselves would be delivered on site and wouldn't require any structural work associated with building works. Additionally, the site has an existing water and electrical connection as well as a septic tank. Because of that, the disruption to the area would be minimal to none.

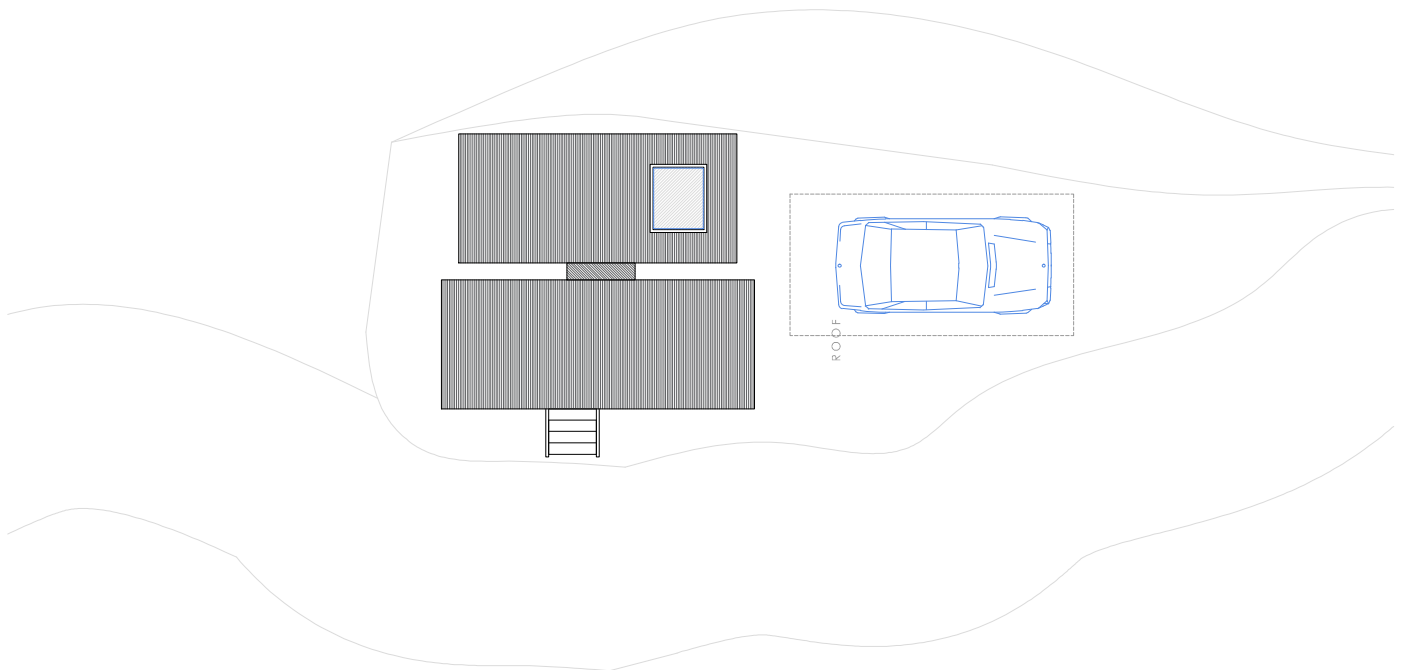
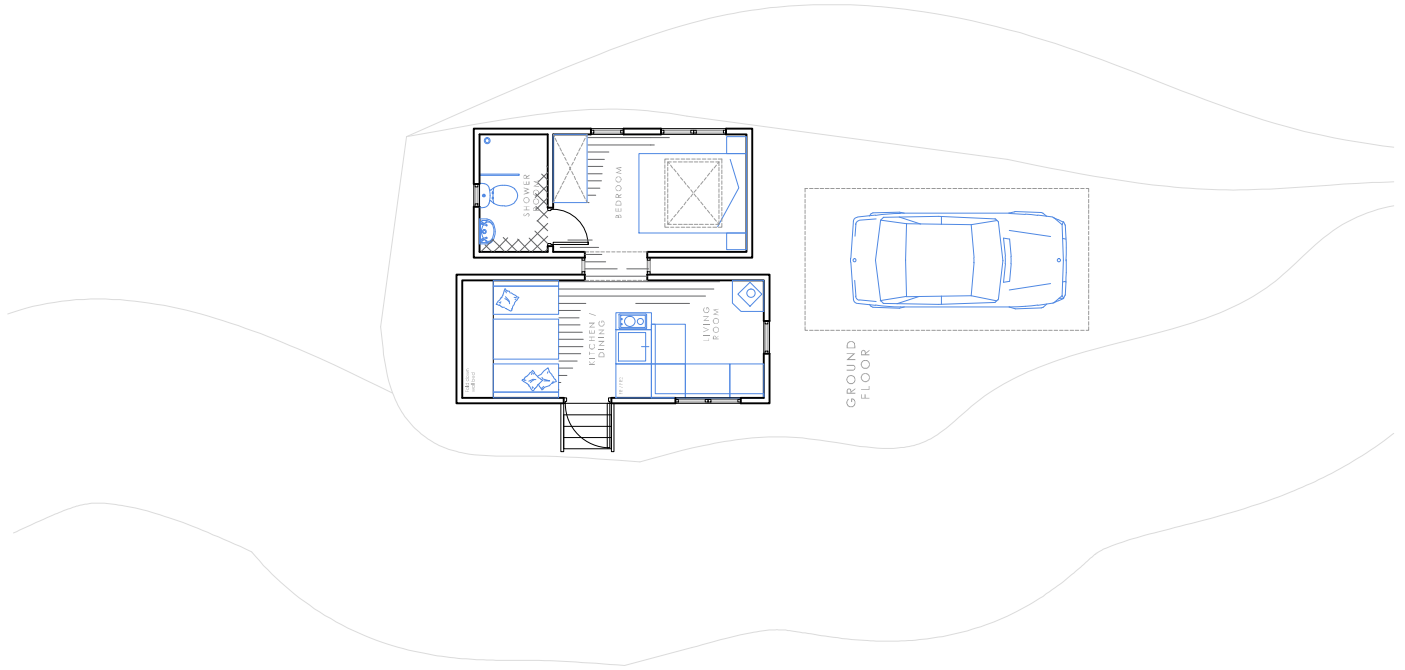
From the design perspective, the proposal aims to make a positive contribution to the area by getting rid of the dilapidated garages and in their place installing crisp looking shepherd huts. The proposal is considered as sympathetic to the surrounding area and proposes a solution that would improve the street facade without causing any disruption or harm to the surrounding nature.

Great care has been taken to ensure that the proposed massing of the huts won't extend much beyond that of the existing buildings. Additionally, the huts being used as a holiday let would make the accessibility concerns raised during previous applications non-applicable.

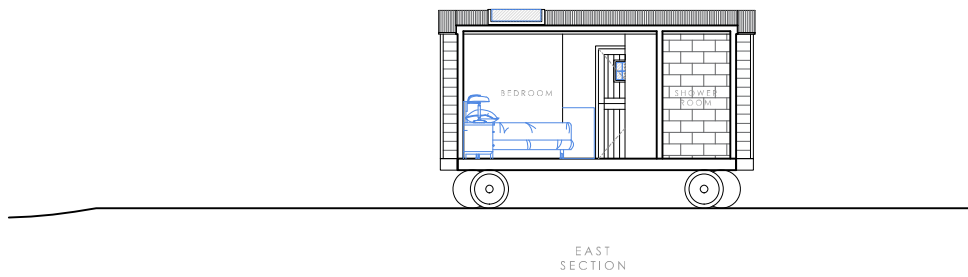
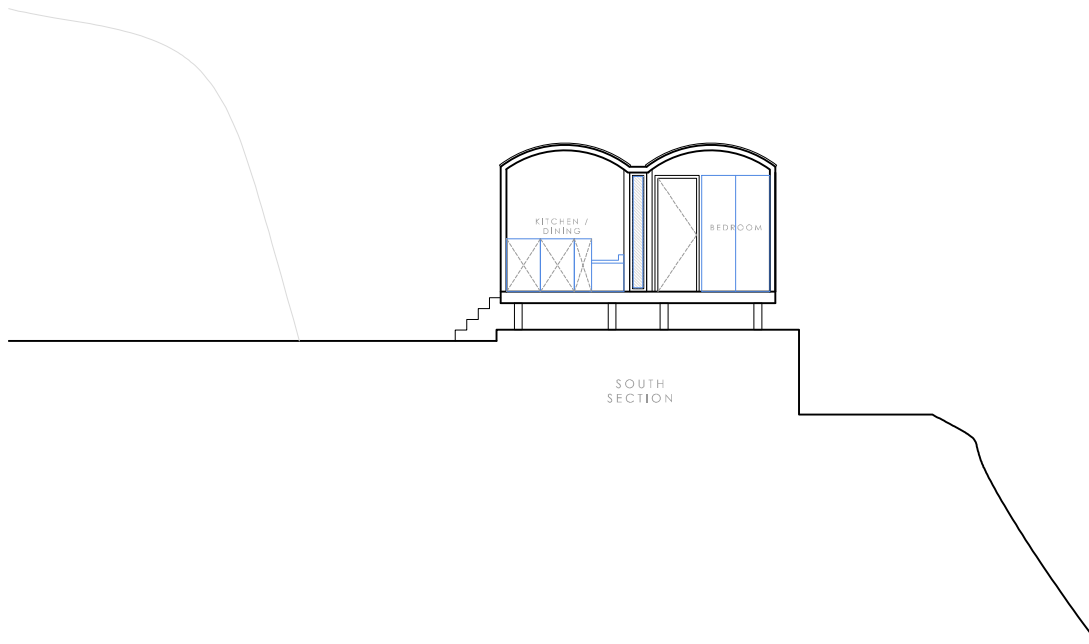
Materials

The shepherd huts would be clad in timber with casement windows and corrugated tin roof. The two huts would be connected by a glass walk-through.

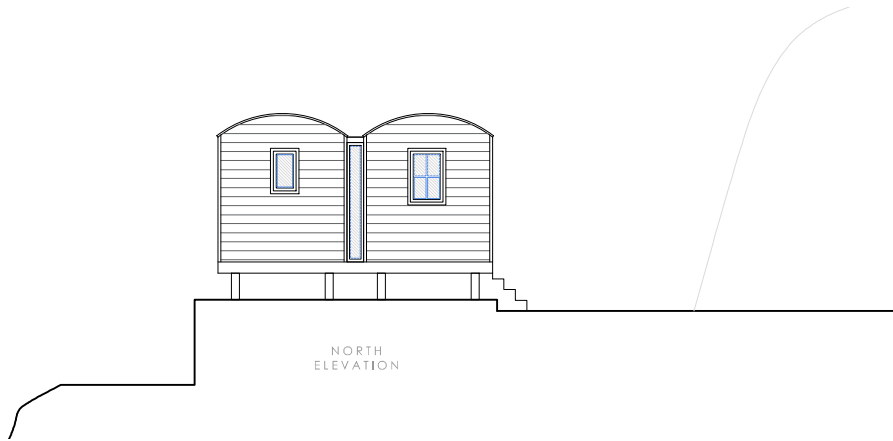
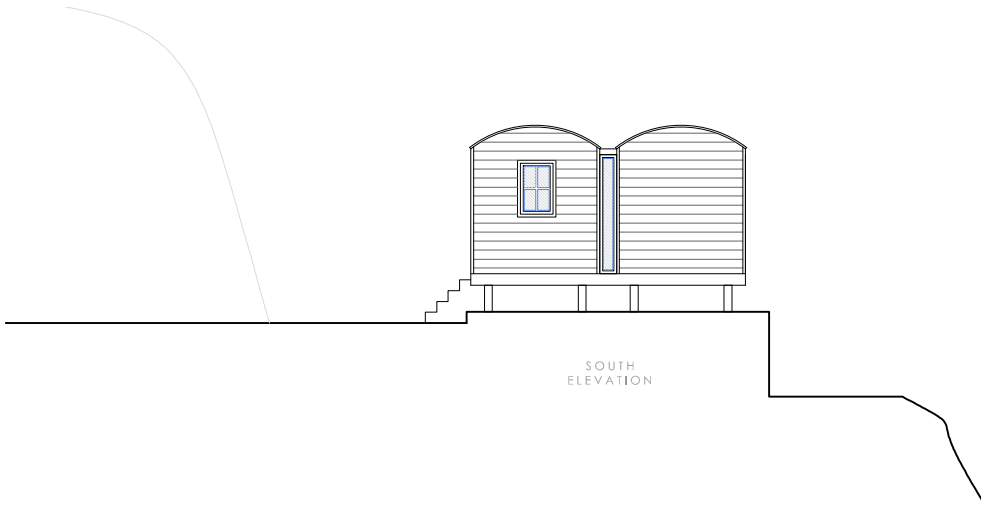
Proposed plans



Proposed sections



Proposed elevations



Travel Plan

The proposal is for the development of a single holiday letting unit and therefore its transport implications on the surrounding area are considered minimal.

Cars and bicycles

The proposal includes an outdoor car parking space and a bicycle storage on the back of the development.

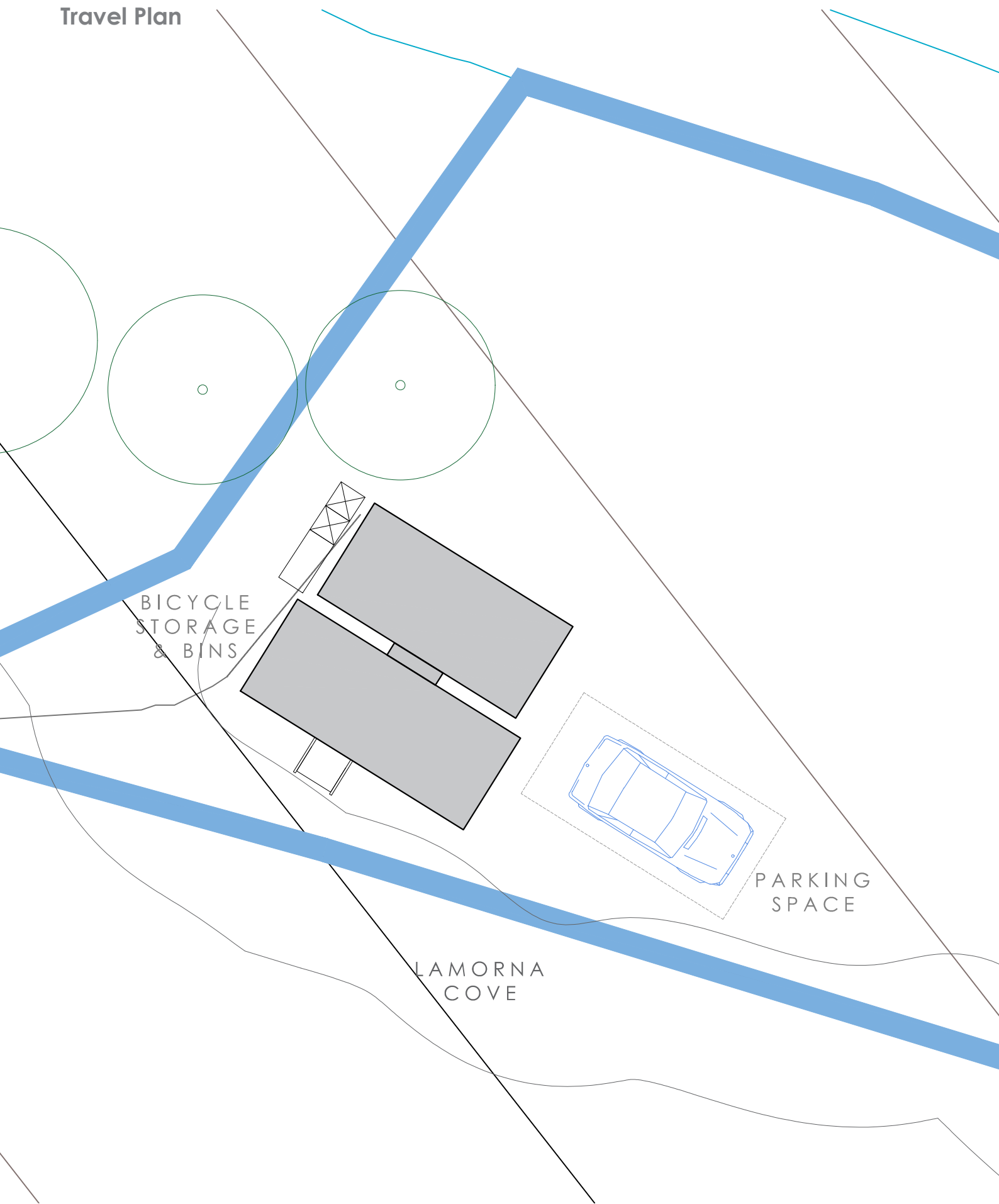
Public transport and traffic

Considering its scale, the proposed development, is considered to have no impact on the current public transport. Similarly, there will be no significant increase in the pedestrian and/or vehicular usage of the Lamorna Cove. There are no crossings in the immediate surrounding area.

Deliveries & Construction

Due to the nature of the proposal the building works are limited to the demolition of the existing garages. The use of shepherd huts eliminates the strain that construction process would typically put on the surrounding traffic.

Travel Plan



LAMORNA
COVE

BICYCLE
STORAGE
& BINS

PARKING
SPACE



Construction timeline

The use of shepherd huts allows for diminishing of the construction time considerably and therefore minimizing the disruption to the surrounding area.

Day 1-3

Demolition of the existing garages and the clear up of the area.

Day 4

Delivery of the two shepherd huts and setting up.

Day 5

Connecting of the shepherd huts to the existing services.

Sustainable Architecture Strategies

At every stage of the design process the environment and sustainability were of the utmost importance. We made sure that the project not only is designed to the highest standard but also complies with the Sustainable Architecture Strategies.

1. Passive Sustainable Design

Vast consideration was given to the sun orientation and the window placement was adjusted accordingly.

The floor, walls and ceiling are fitted with environmentally friendly sheep wool insulation ensuring the thermal comfort throughout the year.

2. Active Sustainable Design

The huts come equipped with high-efficiency electrical and plumbing to minimise their environmental footprint.

3. Renewable Energy Systems

In addition to passive design strategies we included rain & grey water harvesting systems in the project.

4. Protecting the Local Wildlife

The use of the shepherd huts means limiting the work on site to the demolition of the existing garages. Additionally, by utilizing the existing concrete slab and the nature of the shepherd huts, there will be no permanent change to the site.

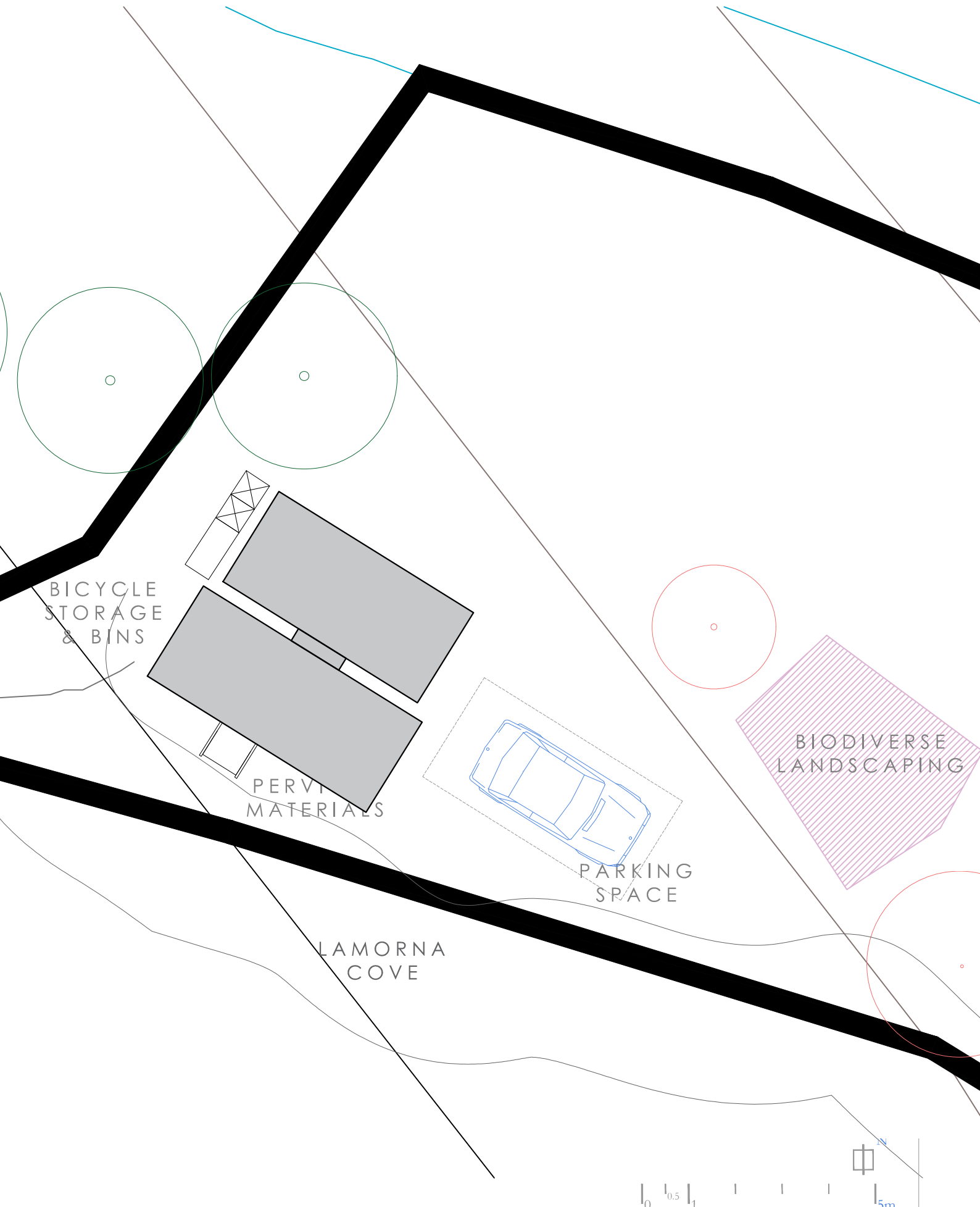
5. Native Landscaping

All trees that are currently growing on the property will be protected both during the construction process and once the works are completed. New landscaping will be done on the unoccupied parts of the land with the focus on plants that are not only native to the area but also known to be great attractors for pollinators such as bees, butterflies and other insects. Improving local biodiversity was the main factor in selecting, for both of those purposes, plants such as birdsfoot trefoil, sea campion, sheeps bit, thrift and others.

6. Stormwater Management

Careful consideration was given to the stormwater management strategies implemented throughout the site. Vast majority of the existing site will be left untouched allowing the water to absorb back to the ground and replenish the natural water table. Where needed, pervious materials will be used to reduce runoff.

Landscaping Plan



Conclusion

The proposal has been curated with the improvement to the existing site in mind while simultaneously creating minimal disruption to the local area and its residents.

The use of the shepherd huts makes the proposal non-intrusive while creating a positive frontage onto Lamorna Cove, improving the current dilapidated look of the site.

What is more, the project goes above and beyond to implement the sustainable design strategies and improve local biodiversity.

With the above in mind we would politely ask that this application is considered for approval.