



PLANNING & HERITAGE STATEMENT

Canopy extension to existing Millennium building

Westbourne House School Coach Road
(South) Shopwhyke PO20 2BH

APRIL 2024





This Planning, Design & Access Statement accompanies a full planning application for an extension to the Millennium Hall building at Westbourne House School, Coach Road (South), Shopwhyke, PO20 2BH. The proposed extension has been prepared with due regard to the character and appearance of the site and the surrounding area, its relationship with existing neighbouring properties and consideration of relevant planning policy.

THE SITE & SURROUNDINGS

Westbourne House School is located within the Parish of Oving set within substantial and mature grounds. The site includes a number of buildings used in connection with the school and is framed by playing fields and large areas of mature soft landscaping. This proposal would adjoin the millennium hall to its south side. The millennium building forms a modern two-storey structure in a mixture of stone, render and brick which includes a single storey wing to its western side providing space for arts and music.

WHS is an independent co-educational day and boarding school for children aged 2 ½ to 13 years old, situated in 100 acres of parkland between the South Downs and the south coast, just outside the cathedral city of Chichester. The site location is illustrated within Figure 1. The main school building is Grade II listed recorded as Shopwhyke House Westbourne House School, a 19th century building. The school currently provides schooling for day pupils and there are also 100 boarders.

The Proposals

The application is submitted for the erection of a lightweight extension to the south of the Millennium building. The extension would include fully glazed elevations supported by grey galvanised steel frames with the west elevation being partially open. The roof would create a canopy in cream tensile fabric. The canopy extension would be sited on existing hardstanding and bolted to the ground providing a lightweight structure, with limited requirement for ground works,

Planning History

The history for the Millennium Hall and music buildings are relevant. There are unimplemented consents for larger extensions to the Millennium Hall with the most recent being granted under LA Ref: O/16/00896/FUL & O/20/00236/FUL.

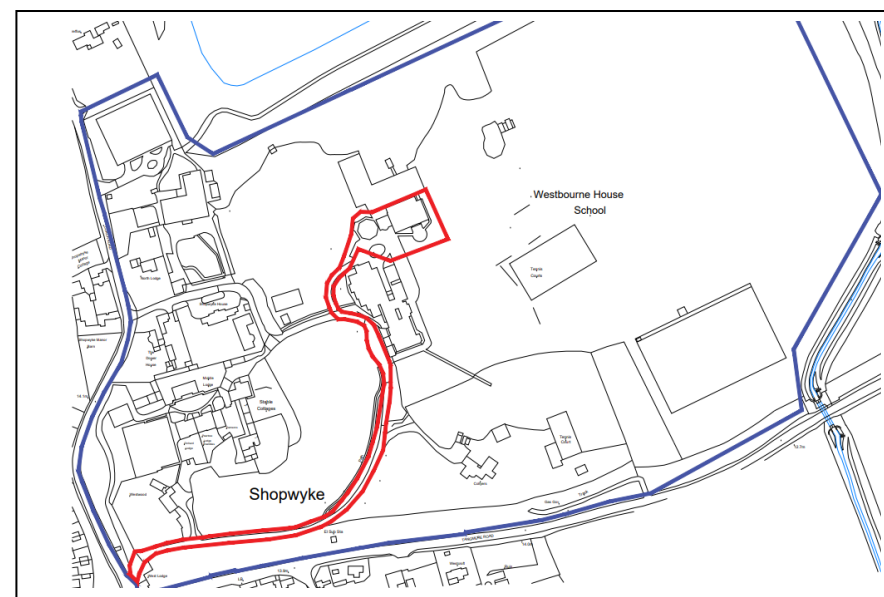


Figure 1. Site Location



RELEVANT PLANNING POLICY

National Planning Policy

The National Planning Policy Framework 2023 sets out the most up to date planning guidance for the proposed development. Paragraph 11 confirms that at the heart of the NPPF is a presumption in favour of sustainable development. For decision-taking this means:

- approving development proposals that accord with an up-to-date development plan without delay; or
- where there are no relevant development plan policies, or the policies which are most important for determining the application area out-of-date, granting planning permission unless:
 - the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed,
 - or any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

Section 12 of the NPPF refers to achieving well-designed and beautiful places. Paragraph 131 states that: *The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities. Being clear about design expectations, and how these will be tested, is essential for achieving this. So too is effective engagement between applicants, communities, local planning authorities and other interests throughout the process.*

On design, Paragraph 135 seeks to ensure that 'Planning policies and decisions should ensure that developments:

- a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;
- b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;
- c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);
- d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;



- e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and
- f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience to create places that are safe.

Para. 205 requires that *When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.*

Para. 206 goes on to establish that *Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of grade II listed buildings, or grade II registered parks or gardens, should be exceptional; assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*

Further para 207 confirms that *Where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:*

- a) *the nature of the heritage asset prevents all reasonable uses of the site; and*
- b) *no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- c) *conservation by grant-funding or some form of not for profit, charitable or public ownership is demonstrably not possible; and*
- d) *the harm or loss is outweighed by the benefit of bringing the site back into use.*

Para. 208 is relevant... *Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.*

The Conservation and Enhancement of the Natural Environment is covered in section 15 of the NPPF. Paragraph 180. Planning policies and decisions should contribute to and enhance the natural and local environment by:



- a) protecting and enhancing valued landscapes, sites of biodiversity or geological value and soils (in a manner commensurate with their statutory status or identified quality in the development plan);
- b) recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services – including the economic and other benefits of the best and most versatile agricultural land, and of trees and woodland;
- c) maintaining the character of the undeveloped coast, while improving public access to it where appropriate;
- d) minimising impacts on and providing net gains for biodiversity, including by establishing coherent ecological networks that are more resilient to current and future pressures;
- e) preventing new and existing development from contributing to, being put at unacceptable risk from, or being adversely affected by, unacceptable levels of soil, air, water or noise pollution or land instability. Development should, wherever possible, help to improve local environmental conditions such as air and water quality, taking into account relevant information such as river basin management plans; and
- f) remediating and mitigating despoiled, degraded, derelict, contaminated and unstable land, where appropriate.



Chichester District Local Plan 2014-2029

Local Plan policy relates to the Chichester District Local Plan 2014-2029. Policy 1 (Presumption in Favour of Sustainable Development), Policy 2 (Development Strategy and Settlement Hierarchy), Policy 40 (Sustainable Design & Construction), Policy 47 (Heritage and Design), & Policy 48 (Natural Environment) are relevant to the proposals.

CLP Policy 1 set of the Presumption in Favour of Sustainable Development and that. 'When considering development proposals, the Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework. It will always work proactively with applicants jointly to find solutions which mean that proposals can be approved wherever possible, and to secure development that improves the economic, social and environmental conditions in the area'.

CLP policy 2; Development Strategy and Settlement Hierarchy sets out the hierarchy of the settlements for the District and sets out the locations and role of the settlements to support sustainable development. This site is located within the designated Rest of Plan Area situated 0.6miles outside the Sub Regional Centre of Chichester which sits at the top of the settlement hierarchy, In CLP policy 2 terms.

Policy 40 of the current CLP concerns; Sustainable Design and Construction for all new dwellings and determines that evidence will be required by the developer to demonstrate that all 10 criteria have been considered (proportionate to the scale of development):

This proposal aims to protect and enhance the environment, both built and natural by;

- Management of water consumption and harvesting.
- Compliance with Building for Life Standards or equivalent.
- Applying sound sustainable design, good environmental practices, sustainable building techniques and technology, including the use of materials that reduce the embodied carbon of construction and the use of re-used or recycled materials
- Minimising energy consumption and potential for renewable resources and use of passive solar design principles where possible.
- Native planting and landscaping
- Ecology enhancements.



Policies 45, 47 and 48 of the LP refer to development within the countryside, design and the impacts upon the natural environment and set out that proposals must be well related to an existing group of buildings, not prejudice any viable agricultural operations and ensure that their scale, siting, design and materials would have minimal impact on the landscape and rural character of the area. Alongside this there are requirements to respect the distinctive local character and sensitively contribute to creating places of a high architectural and built quality; respect natural landscapes and the tranquillity of the rural character of the area; meet the highest standards of design; and a high quality living environment in keeping with the character to the surrounding area and its setting in the landscape.

Policy 49 requires development to safeguard the value of the site; provide suitable mitigation of habitats and species; protect, manage and enhance ecology networks, ensuring individual and cumulative adverse impact are avoided; and that the benefits of the development outweigh any adverse impact on biodiversity on the site. Adverse impact on biodiversity will only be possible where there are no reasonable alternative are available. The use of planning conditions and obligations may be utilised to propose suitable mitigation.



HERITAGE STATEMENT

The listing description in relation to the main school building originally known as Shopwhyke House states:

1848 circa. Large square mansion. Two storeys. Five windows to each front. Faced with Roman cement. Long and short quoins. Stringcourse. Modillion eaves cornice with egg and dart moulding. Slate roof. Windows with architraves over and glazing bars missing. The west front has a projecting centre portion of three windows with a pediment over containing an attic window; also, a large portico of four Ionic columns in front of the projection. Doorway with door of six fielded panels. Service wing of lower elevation and five windows to north.

The history of the site involves:

- 1946 the school moves to Shopwhyke House after the RAF occupied the building during WWII.
- 1951 outdoor pool built.
- 1963 construction of gym.
- 1985 music building completed.
- 1992 WHS became co-educational.
- 1994 current swimming pool was built.
- 1998 Sharman wing completed.
- The millennium hall being constructed at the turn of the century.

The proposal relates to a modern building within the grounds of the school and would not directly impact the designated heritage asset. The historic integrity of the site would be retained with preservation of the setting and special architectural and historic interests. The proposal seeks to add a lightweight structure to the Millennium Hall, a building detached from the Grade II listed property and is required for the function of the school. The lightweight and simple structure has been designed in order that it could be easily removed, and the site reinstated should requirements for its use change in the future.

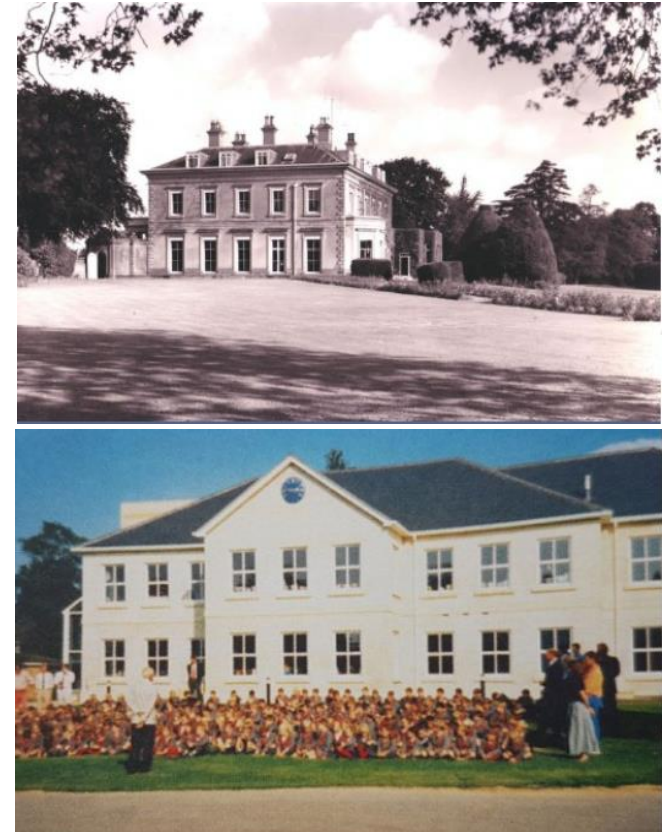


Figure 2. Shopwhyke House 1946 (above) Sharman wing completed 1998 (below)



CONSIDERATIONS FOR THE DEVELOPMENT PROPOSAL

Design Principles & Appearance

The proposal seeks to provide an extension to the existing Millennium building that would deliver a lightweight structure with glass walls under a canopy style roof. This low key and lightweight structure would be open sided, in part, to the west elevation. The extension would be a subsidiary single storey wing to the two-storey Millennium building which accommodates performing arts for the school with a purpose-built facility. Figure 3 shows the proposed south elevation in context with the main building.

The simple design and lightweight appearance of the canopy structure would be visually sympathetic to its context and of a quality to complement the appearance of this part of the site. The Millennium building is separate from the historic environment, located further south within the site, and the form of the structure is designed to be sympathetic to its wider setting.

Layout & Scale

The siting of the proposed canopy structure, see Figure 4, would be similar to the previous unimplemented planning permissions LA Ref: O/16/00896/FUL & O/20/00236/FUL. The scale of the extension has been reduced substantially from what has previously been proposed, with a lightweight glass and canvas structure to the southern elevation of the Millennium Hall.

Amount & Use

The extension would be used as a foyer and refreshment area to service pupil performances and provide cricket teas.

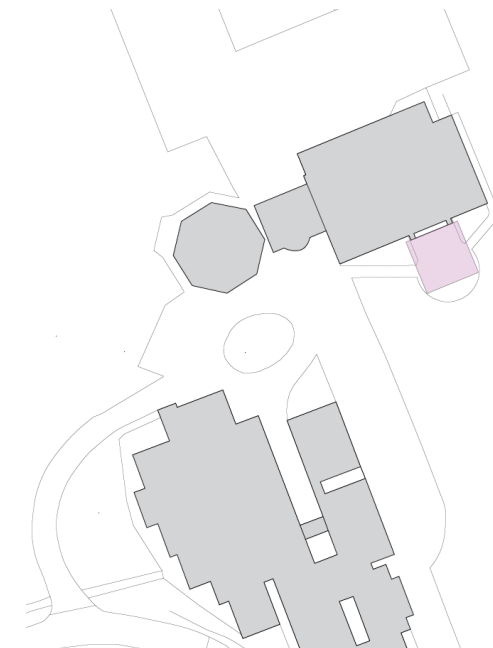
Access

There are no changes to vehicular and pedestrian access.



Figure 3. Proposed south elevation

Figure 4. Proposed site plan (below)





Natural Environment

The extension would be located over an existing paved area and would be bolted to the ground having minimal impact on the adjacent trees. In terms of BNG this development is considered de minimis, as the proposal would not result in any loss of natural habitat, the canopy extension being bolted to an existing hard surface.

CONCLUSION

Careful consideration has been given to the design of the proposed small-scale development with specific regard to the layout and the amount of development appropriate for the site in relation to site context and Grade II listed building.

The scheme has been designed to have special regard to the desirability of preserving the setting of the historic environment and any features of special architectural or historic interest which it possesses. Overall, the scale and nature of the proposal are such that the design quality and setting of the of the heritage asset would be maintained and the proposal would be respectful to the character and appearance of the listed building and its setting.

It is considered the proposal complies with the Council's Development Plan and the considerations material to the case, and there are no material considerations that indicate otherwise. Therefore, subject to conditions, permission should be granted at the earliest opportunity.