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## **Design and Access Statement**

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Project Number: 24007  
Project Title: 28 Slateacre Road, Hyde, Tameside, SK14 5LB

This report is intended as a concise explanation of the proposal and to provide photographs. There are also visuals to further explain the proposal.



The above photograph shows 28 Slateacre Road in the centre, viewed from the road. Slateacre Road is a steep hill which is why the houses are stepped. 28 Slateacre Road is a semi-detached house adjoining number 26 to the right of the photograph. Number 28 and number 30 have both built side extensions incorporating garages with bedrooms above to the boundary. There are off road parking spaces in front of the house.

28 Slateacre Road has had 2 previous planning approvals in 1982 and 1992:

82/01127/FUL – Kitchen & dining extension, garage & porch

92/00941/FUL – erect a first floor side extension above exis extension

Due to the age of these applications, there are no drawings on the Tameside MB Council website. Although based on the description, it seems the extensions were built with planning permission. The conservatory has been built for many years by a previous owner. The conservatory like most conservatories is too hot in summer and too cold in winter so not a useful space which is why this application seeks to replace it.

The below photographs taken from the rear bedroom show the long garden and the flat roof of the existing rear extension and the conservatory.



The below photograph taken from the side window of the two storey bedroom extension shows the views into Manchester and the roof of the recently built single storey rear extension at number 26. Also the 2 storey rear extension of 22 Slateacre Road (13/00831/FUL) which steps out beyond number 24 by approximately 3m.



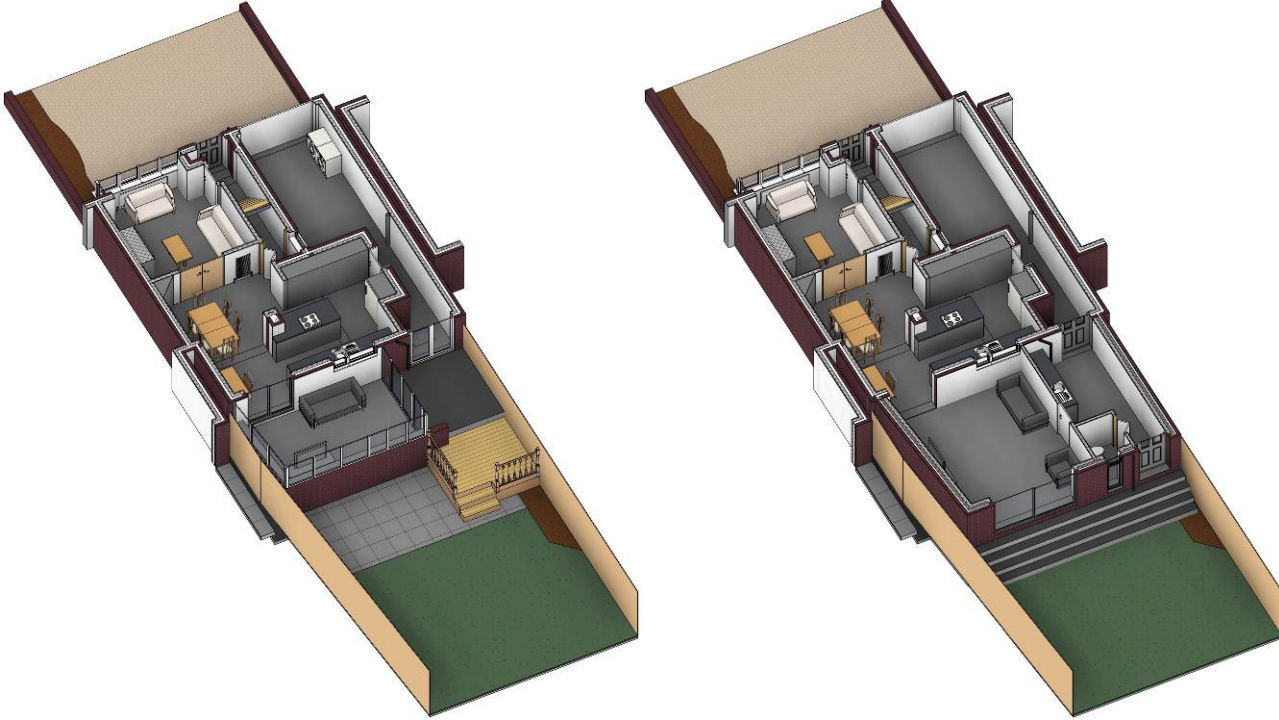
The below photograph is taken from rear garden, the cream painted 1<sup>st</sup> floor brickwork is number 26, number 28 has white painted brickwork at first floor it also has the conservatory at ground floor and the 2 storey extension with gable roof over. To the right of the photograph is number 30 with its 2 storey side extension visible by the change in brickwork colour.



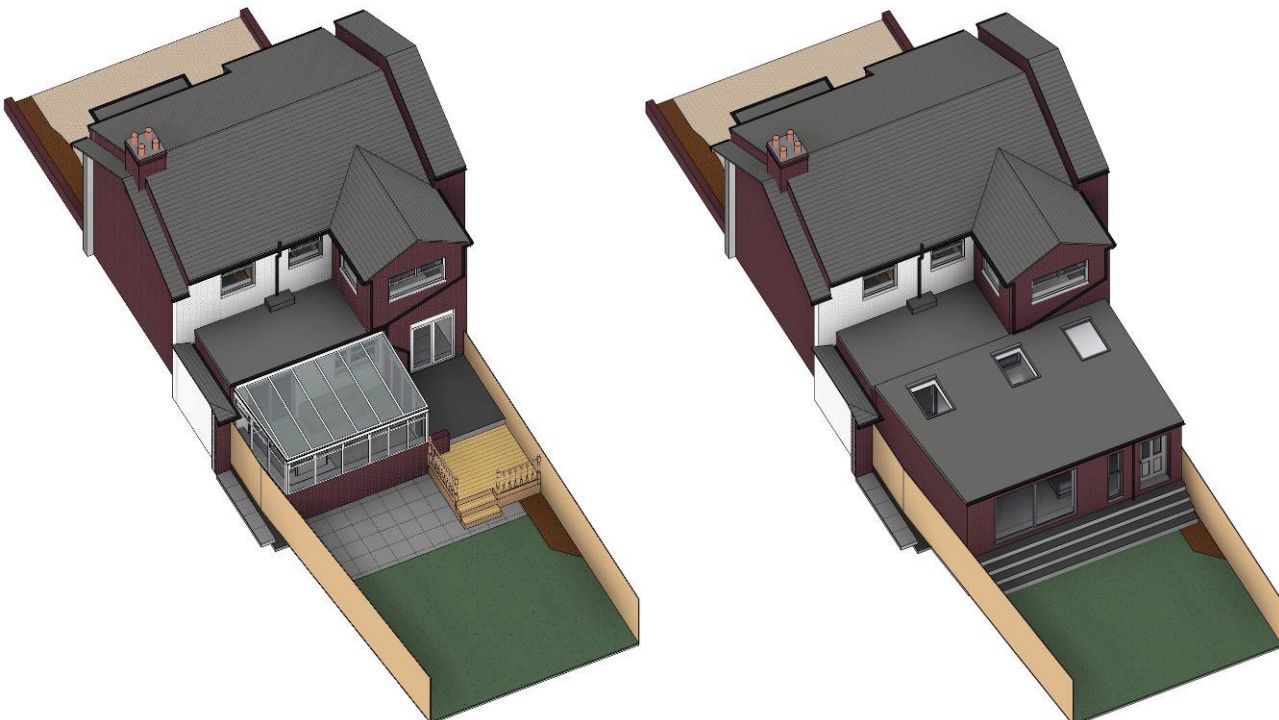
The below photograph is taken closer to the conservatory and shows the rear extension at number 26 a bit more although it is screened by shrubs on both sides of the boundary fence.



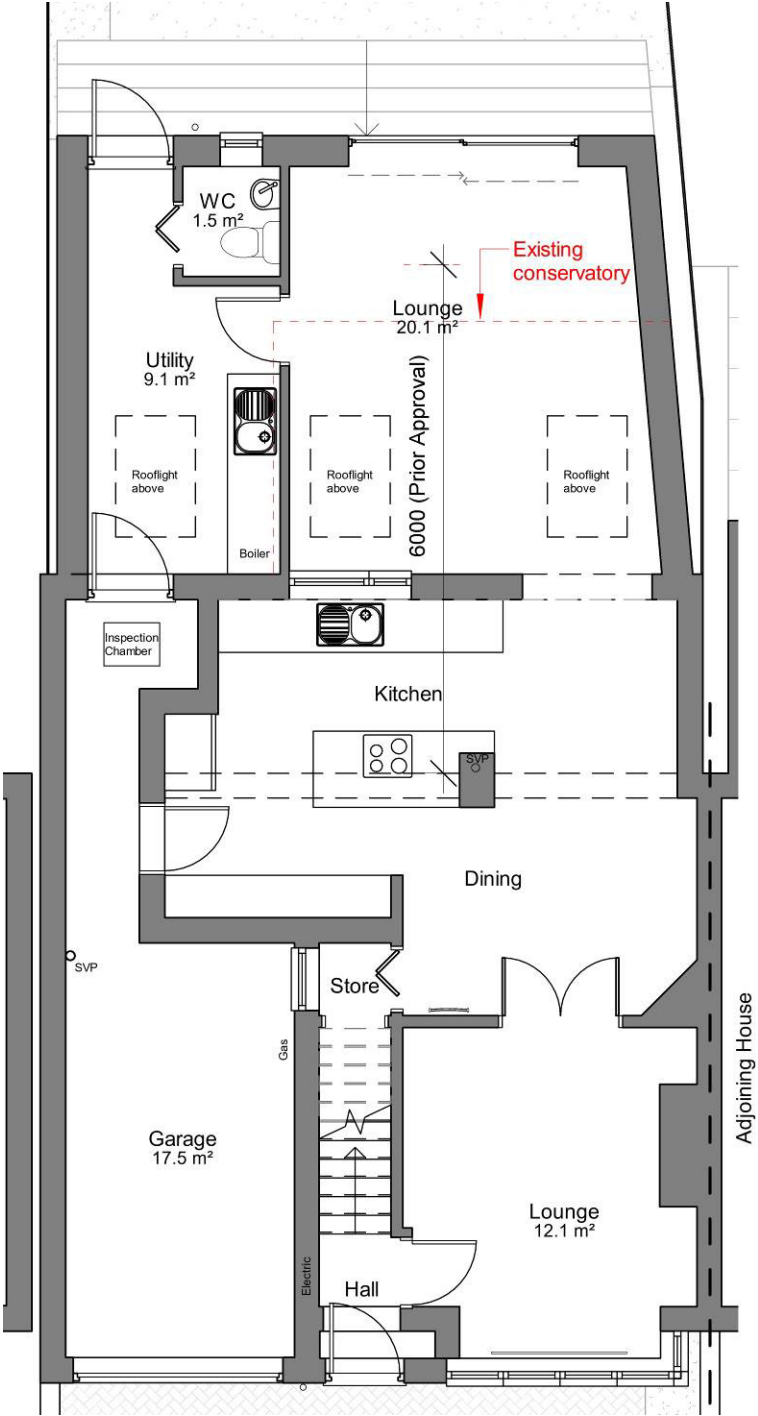
The below 3D image shows the existing house on the left and proposed on the right at ground floor level. The proposal is to replace the conservatory with a lounge, utility room and WC. Due to the level difference in the garden steps are required.



The below 3D image shows the existing house on the left and proposed on the right at ground floor level. The extension aims to tie into the existing flat roof of the kitchen / dining area.



The below proposed ground floor plan includes a dashed line representing the existing conservatory and also a 6m dimension from the original house which is beyond the line of the conservatory showing the line that a permitted development prior approval application could extend to.



The extension wall on the number 26 side is angled to suit the fence / boundary line which takes the extension further from the rear wall of the number 26 rear extension. On the number 30 side, the extension at single storey seems less imposing than the existing 2 storey extension particularly as it is set further in.

We appreciate that this proposal to the house is a relatively large extension that will make the house much more useful and enjoyable, however as much of it is on land presently occupied by the conservatory the actual increase and impact to the neighbouring houses is minimal. The roof is designed as low as possible. These house are very adaptable and many on the road have carried out side, rear and roof extensions.